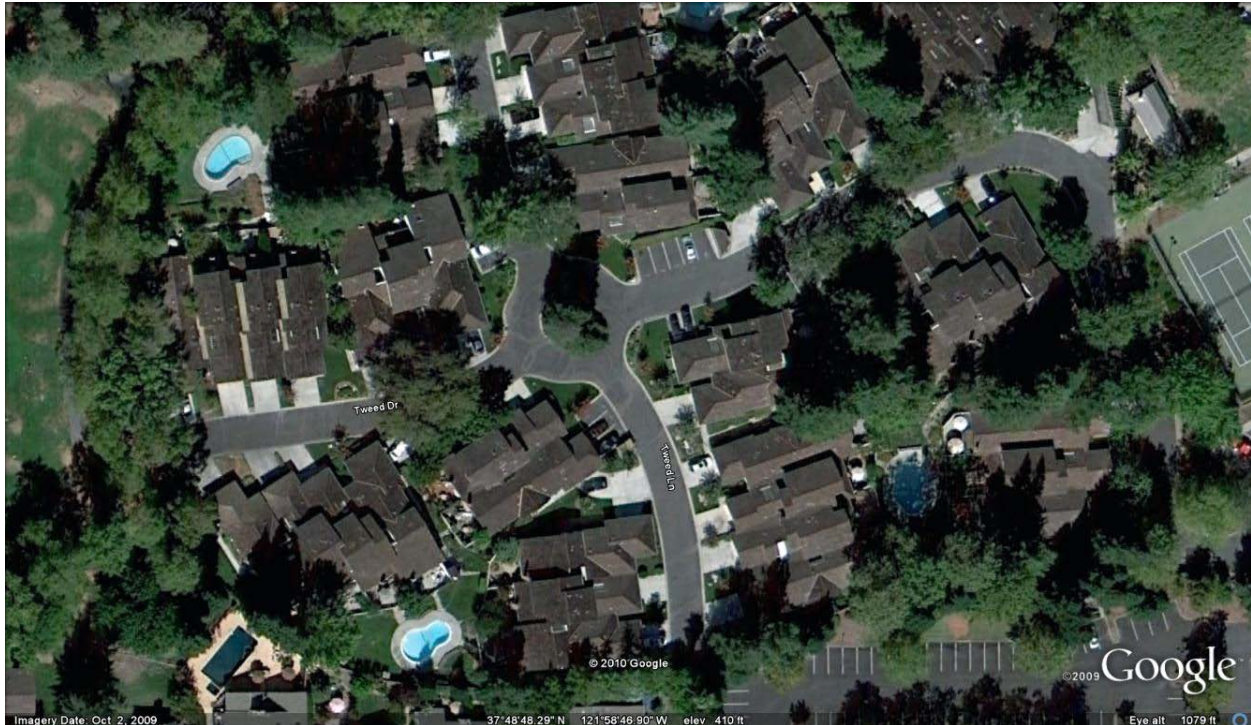

2010 Exterior Separation Wall Repair Project

Danville, California

**Prepared for:**

Sycamore Glen Homeowners Association
Willis Management Group
7033 Village Parkway, Suite 212
Dublin, CA 94568

Contractor:**Prepared By:**

Gerald Stater & Company
Construction Management
3806 California Way
Livermore, CA 94550
Phone 925-337-2203 • Fax 925-605-3898

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- END

BID FORM
Sycamore Glen Homeowners Association
 2010 Exterior Separation Wall Repair Project
 Danville, California

Company Name: _____

Address: _____

Phone #: _____ Fax #: _____

Addendum's Noted: # _____ Date: _____
 # _____ Date: _____

We the above, present our bid for the work as per the plans and specifications Titled –Sycamre Glen Homeowners Association -- 2010 Exterior Separation Wall Repair Project – Danville, California, Bid Manual dated 8/05/2010. (See Section 01010 - Summary of Work for Package Description.) Additionally we state herein that we have visited the site and familiarized ourselves with site conditions and the work.

1. Base Separation Wall Repair Pricing

| | |
|--|------------|
| BASE BID 1: | \$ _____ |
| BASE BID 2: (To be completed w/ Base Bid 1) | \$ _____ . |
| BASE BID 3: (To be completed w/ Base Bid 1 & 2)) | \$ _____ . |

2. Unit Pricing

| | | |
|----|--|-------------|
| A. | Replacement of complete siding, trim and cap | \$ _____ Ea |
| B. | Replacement of complete wall framing Wall Type 1 | \$ _____ Ea |
| C. | Replacement of complete wall framing Wall Type 2 | \$ _____ Ea |
| D. | Installation of new post include necessary concrete work | \$ _____ Ea |
| E. | Installation of new 20' cap at existing stucco walls with trim | \$ _____ Ea |

3. Alternate Bids

BASE BID 1 \$ _____

BASE BID 2 \$ _____

BASE BID 3 \$ _____

4. Labor Rates (per hour, fully loaded)

Foreman \$ _____

Carpenter \$ _____

Painter \$ _____

Concrete \$ _____

Total overhead and profit to be added to **additional** work. _____%
(This shall include overhead and profit of any sub-contractors)

Total overhead and profit to be deducted for work **deleted**. _____%

This bid shall expire **after 90 days from** submission. The Owner reserves the right to accept or reject any or all bids and/or add alternates.

Anticipated Start Date: _____

of Calendar Days Required: _____

We/ I have thoroughly reviewed the plans and specifications and submit our bid as included herein.

Signature

Title

Name (typed or printed)

Date

Contractors License# _____ **Classification(s)** _____

We have the HOA insurance requirements as specified in Section 00800 Yes _____ No _____

Section 00800
Supplementary Conditions

PART 1 – GENERAL

1.01 SECTION INCLUDES

- A. Insurance Coverage
- B. Emergency Contractor Access
- C. Onsite Communications

1.02 COMMON TERMS AND ABBREVIATIONS

- A. The following terms and abbreviations are used throughout the contract documents and shall mean the following:
 - 1. **C.M.-** shall mean Construction Manager- Gerald Stater & Company
 - 2. **Owner-** shall mean Sycamore Glen Homeowners Association
 - 3. **Resident-** shall mean the person's residing at an individual unit or the project.
 - 4. **Contractor-** shall mean.TBD
 - 5. When there is not a title naming the specific party, which is responsible for a task or item named herein, it shall be deemed to be the responsibility of the Contractor.

1.03 INSURANCE REQUIREMENTS

- A. Insurance- Contractor shall procure and maintain, at its own expense, insurance for the duration of the contract and until 1 year after notice of completion has been filed coverage against claims for injuries to persons or damages to properties which may arise from or in connection with the performance of work under this contract by the Contractor, its agents, representatives, employees or subcontractors.
- B. These coverages, shall be written on an occurrence form, and shall be maintained during the entire term of the contract. The products and Completed Operations Coverage shall be maintained for a minimum of 1-year following such completion of the work. The obligation to maintain and/or purchase insurance may include, but not be limited to, the purchase of "tail" coverage under any and/or all of the policies required by the Contract Documents, including but not limited to the Policy, for the period of time required by the Owner, which may include but not be limited to, ten years from the date of Contractor's substantial completion of the project as defined by California Code of Civil Procedure section 337.15(g).
- C. The Contractor shall maintain insurance coverage at least as broad as:
 - 1. Commercial General Liability- ISO Occurrence Form CG 0001 (not on a "claims made" basis), including coverage for premises, operations, mobile equipment liability, products and completed operations, contractual liability (to the extent such coverage is provide ISO commercial general liability form CG0001 and such form of coverage will contain an additional specific endorsement for contractual liability) Owners and Contractors protective, per location aggregate limit, and with XCU exclusion deleted. The policy limits shall be not less than \$500,000, per occurrence for bodily injury and property damage liability.
 - 2. Automobile Liability- ISO form, CA 0001, covering "any auto" coverage code "1", or commercially reasonably equivalent, to insure owned, non-owned and hired automobiles, trucks, and other vehicles utilized by Contractor and Subcontractor

- in completion of the work. The policy limits shall be not less than \$500,000 combined single limit per accident for bodily injury and property damage.
3. Workers Compensation and Employee's Liability- to comply with the statutory requirements of the state in which the work is completed. The policy shall include Employers' Liability for not less than \$500,000 per accident.
 4. Any deductibles or self-insured retention must be declared to and approved by the Association. The Association may require reduction or elimination of such deductibles or self-insured retentions with respect to the Association, its officers, directors and employees or require Contractor and Subcontractor to procure a bond guaranteeing payment of losses and related investigation, claims administration and defense expenses.
 5. All policies required shall: 1) be written by insurance companies with a Best's Rating of no less than "A-: VII" 2) provide that coverage shall not be suspended, voided, cancelled, non-renewed, reduced in scope and/or limits except after 30 days' prior written notice by certified mail, return receipt requested, has been given to Association, and 3) provided for waiver of subrogation rights against Association as provided under this contract.
 6. The required Commercial General Liability and Automobile Liability policies shall:
1) This coverage shall provide an endorsement naming the Association, its officers, directors, employees, agents and property managers, members and their tenants, and Architect (excluding claims for professional negligence of Architect) as respects: liability arising out of operations performed by or on behalf of the Contractor or Subcontractors of any tier: products and completed operations of Contractor or Subcontractors of any tier; premises or automobiles owned, leased, hired or used by Contractor or Subcontractors of any tier. This coverage shall contain no special limitations on the scope of protection afforded to Association:
2) be primary as respects the Association, its officers, officials, employees and volunteers and non-contributory with any insurance carried by the Association;
and 3) apply separately to each insured and additional insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability. The aforementioned endorsement shall be written on ISO Form 2010 (11/85) or its equivalent.
 7. Association shall be provided (10) days prior to commencement of the work, certificates of insurance and original additional insured endorsements evidencing the coverages required by this Section and the Contract. A person authorized by that insurer to act on its behalf to bind insurance coverage shall sign these certificates and endorsements. Association reserves the right to require certified copies of any required insurance policies.
 8. Contractor shall insure that all Subcontractors name Contractor, Association, its officers, directors, employees, agents, and Association Manager, members, tenants, and Construction Manager (excluding claims for professional negligence) as additional insureds under their policies and shall furnish separate certificates of insurance and additional insured endorsements for each Subcontractor. Additional insured endorsements shall be on ISO Form 2010 (11/85) or its equivalent. All coverage for Subcontractors shall be subject to all of the requirements stated herein. Contractor and all Subcontractors shall be responsible for and shall disclose all deductibles and self-insured retentions.
 9. Association must approve of all insurance policies presented to it by Contractor on behalf of itself and its Subcontractors.

1.03 EMERGENCY CONTRACTOR ACCESS

- A. The Contractor shall provide and maintain a method of emergency access and notification throughout the duration of the project.
 - 1. This system must provide a minimum of telephone access to the Contractor 24 hours per day, 7 days per week.
 - 2. In the event of an emergency at the site individual Owners and Property Managers must have a number to call and contact the Contractor to advise of the emergency and request action by the Contractor.
 - 3. If the Contractor fails to be accessible, the emergency condition may be remedied by others and charged back to the Contractor at full value of that remedy, including Property and Construction Management expenses, assuming the emergency arose due to the operations of the Contractor.
 - 4. If the Contractor is contacted about an emergency and responds to same, yet it is found not to be due to the Contractors operations, the Contractor may be compensated for repairs.
 - 5. In the event a dispute arises regarding the responsibility of the Contractor or others for the emergency condition, the Construction Manager shall decide the issue.

1.04 ONSITE COMMUNICATIONS

- A. **There will be NO verbal Change Orders.**
- B. The Contractor will provide and maintain a 2-way radio/cell phone system onsite for onsite communications.
- C. The Contractor shall direct all residents to contact the Construction Manager with any comments or problems. All Communication to residents shall be through the Construction Manager.
- D. The Contractor will accept and take action upon direction given by the Construction Manager only as it relates to this contract. The Contractor will not accept direction from others, such as, onsite owners, tenants, managers, board members, etc. and will professionally re-direct those parties to the Construction Manager.
- E. Failure to comply with said organizational structure, which results in extra time/expense to the Construction Manager could result in those costs being passed on to the Contractor.

- END -

**Section 01010
Summary of Work**

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Project Information
- B. Contractors Use of Premises
- C. Owner Occupancy
- D. Protection of Existing Facilities and Landscape

1.02 PROJECT INFORMATION

- A. Project Name: Sycamore Glen Homeowner Association - 2010 Exterior Separation Wall Repair Project
- B. Project Description:
 - 1: The work and components thereof, the extent of which is shown on the drawings for rear separation walls specified herein include, but are not limited to, the following:

TYPE 1 WALL REPAIR: (Support Footing)

- 1. Removal of existing siding and trim
- 2. Replacement of existing framing
- 3. Installation of new end post and footing
- 4. Installation of new hold down brackets to footings
- 5. Installation of new wall bracket for 1 " separation
- 6. Installation of new plywood sheathing
- 7. Installation of new 60 minute building paper
- 8. Installation of new flexible flashing
- 9. Installation of new Hardi siding and trim
- 10. Installation of new Cedar wall cap
- 11. Painting of siding and trim involved in scope of work

TYPE 2 WALL REPAIR: (Fence Posts)

- 1. Removal of existing siding and trim
- 2. Replacement of existing framing
- 3. Installation of new posts and footing
- 4. Installation of new wall bracket for 1 " separation
- 5. Installation of new plywood sheathing
- 6. Installation of new 60 minute building paper
- 7. Installation of new flexible flashing
- 8. Installation of new Hardi siding and trim
- 9. Installation of new Cedar wall cap
- 10. Painting of siding and trim involved in scope of work

OPTIONAL ITEMS: Unit Prices

1. Replacement of complete siding, trim and cap
2. Replacement of complete wall framing Wall Type 1
3. Replacement of complete wall framing Wall Type 2
4. Installation of new post include necessary concrete work
5. Installation of new 20' cap at existing stucco walls with trim

BASE BID 1:

| | |
|------------------------------|----------------------|
| Unit 122/124 Separation Wall | Complete Replacement |
| Unit 124/126 Separation Wall | Complete Replacement |
| Unit 126/128 Separation Wall | Complete Replacement |
| Unit 128 End Wall | Complete Replacement |
| Unit 35 End Wall | Complete Replacement |
| Unit 11/15 Separation Wall | Cap Replacement |
| Unit 31 End Wall | Cap Replacement |
| Unit 31/35 Separation Wall | Cap Replacement |
| Unit 142 End Wall | Cap Replacement |

BASE BID 2:

| | |
|------------------------------|----------------------------------|
| Unit 122 End Wall | Siding, Cap and Trim Replacement |
| Unit 162 End Wall | Complete Replacement |
| Unit 166 End Wall | Complete Replacement |
| Unit 182 End Wall | Complete Replacement |
| Unit 182/184 Separation Wall | Complete Replacement |
| Unit 184/186 Separation Wall | Complete Replacement |
| Unit 186/188 Separation Wall | Complete Replacement |

BASE BID 3:

| | |
|------------------------------|----------------------------------|
| Unit 42 End Wall | Siding, Cap and Trim Replacement |
| Unit 44 End Wall | Complete Replacement |
| Unit 166 End Wall | Complete Replacement |
| Unit 22/24 Separation Wall | Complete Replacement |
| Unit 24/26 Separation Wall | Complete Replacement |
| Unit 162/164 Separation Wall | Complete Replacement |
| Unit 164/166 Separation Wall | Complete Replacement |

ALTERNATE BID:

Delete Hardie siding, 1/2" plywood sheathing and install T-111 siding with 12" pattern, all other details and construction to remain the same.

- BASE BID 1:
- BASE BID 2
- BASE BID 3

1.03 CONTRACTOR USE OF PREMISES

- A. Work to be performed in and about occupied residencies.
- B. Specific notifications and appointment times will be scheduled with the homeowner for the performance of work which is designed to be complete in a specified duration. Scheduled appointments missed by the contractor are damaging to the project and may result in fines to the contractor.

- C. Materials/components/supplies are to be procured and on-site prior to the start of work for each specified unit to ensure uninterrupted project durations.
- D. Limit use of premises for work and for construction operations to allow for Owner occupancy and public access.
 - 1. Obtain written permission from the Owner in advance of any of the Contractor's /Subcontractor's personnel working or having cause to be on the premises beyond normal working hours of 8:00 am to 5:00 PM. Monday through Friday.
 - 2. Contractor shall respect the serenity of the site and limit any unnecessary noise, no radios will be allowed on site.
- E. Limit demolition and construction work to:
 - 1. No area shall be left unprotected for water damage at the end of every day.
 - 2. Contractor will be solely responsible for protection of building during construction including consequential damage of all types including full replacement costs.

***Please Note:** The Owner reserves the right to limit the total number of work sites at any one time if the Contractor fails to maintain an organized and timely work schedule as provided by the Contractor and approved by the Owner. Reasons for these limitations will include: Incomplete Work

Periods of No Activity
 Lagging/Untimely Schedules
 Incomplete Punch Lists
 Non-essential Hardships to the Occupant
 Work Quality

- F. The Contractor shall provide timely notice to the Construction Manager of the planned use of the premises.
 - 1. Provide timely notice to the Construction Manager of access requirements.
 - 2. Provide written schedules and updates to organize work processes and facilitate the notification process.
- G. Based on Contractor supplied and Owner approved schedules, the Construction Manager shall notify dual residents and property owners as follows:
 - 1. 14 days prior to construction start or necessary access.
 - 2. 7 days prior to construction start or necessary access.
 - 3. 3 days prior to construction start or necessary access.
- H. Use only authorized access to existing buildings, do not block or interfere with traffic or parking facilities, except as authorized in writing by the Owner.
- I. Contractor shall be designated a staging area (Drawing SP-1). Any other parking onsite shall be limited to vehicles required for construction operations and shall be required to be moved at any time they obstruct the flow of traffic, block access to a unit or service area or otherwise assigned parking space. Assignees to parking spaces shall at all times retain those assigned parking privileges. The Contractor shall be solely responsible to coordinate movement of vehicles. All other construction personnel parking shall be on the street.

1.04 OWNER OCCUPANCY

- A. Owners and Residents will occupy the premises during the entire period of construction.
- B. The Contractor shall cooperate with the Owner to minimize conflict and to facilitate Owners and Residents operations.

- C The Contractor shall be **fully responsible** to secure all areas worked that day for the evening and weekend, which means removal of all construction tools, materials and equipment from the area. Broom clean all areas worked, **sweep entire work area with a magnetic broom to pick up all nails and metal scraps.**

1.05 PROTECTION OF EXISTING FACILITIES AND LANDSCAPE

- A. Protection of premises – work areas. Specific work areas shall be free from items that may obstruct work. However, contractor shall be working in and about occupied residences. Contractor shall install and remove appropriate protection to property each day.
- B. The Contractor shall make every effort to protect all landscape and irrigation from foot traffic and ladders. The Contractor shall repair or replace all damage to irrigation systems directly resulting from his operation if proper care is not maintained by the Contractor. No vehicular traffic will be allowed on the landscape or side walks areas.

- END

**Section 01019
Contract Considerations**

PART 1 – GENERAL

1.01 SECTION INCLUDES

- A. Schedule of Values
- B. Application for Payment
- C. Change Procedures
- D. Measurement and Payment - Unit Prices

1.02 RELATED SECTIONS

- A. Section 01300 - Submittals: Schedule of Values, Submittal Procedures
- B. Section 01600 - Material and Equipment: Product Substitutions

1.03 SCHEDULE OF VALUES

- A. Submit typed schedule on AIA form G703 - Application and Certificate for Payment Continuation Sheet.
 - 1. Contractors standard form or computer printout may be considered for use if substantially similar to AIA G703, providing a breakdown by unit, by task with summary.
- B. Submit Schedule of Values (4 copies) within 15 days after date of Owner -Contractor Agreement finalization.
- C. Format
 - 1. Use individual units with associated tasks.
 - 2. Summarize all units on summary sheet.
- D. Revise schedule to list approved Change Orders as separate line items, below all other in list, with each Application for Payment.

1.04 APPLICATIONS FOR PAYMENT

- A. Submit 3 copies of each application on AIA form G702 & G703 - Application and Certificate for Payment.
- B. Content and Format: Use Schedule of Values for listing items in Application for Payment.
- C. Include additional forms if required by Owner.

1.05 CHANGE PROCEDURES

- A. The Construction Manager will advise of minor changes in the work not involving an adjustment to the Contract Sum or Contract Time as authorized by AIA Article 7.

- B. The Construction Manager may issue a Proposal Request which includes a detailed description of a proposed change with supplementary or revised drawings and specifications, and a change in the Contract Time for executing the change. Contractor will prepare and submit an estimate within 5 calendar days.
- C. The Contractor may propose changes by submitting a request for change in writing, fully detailing the change and the effects of the change.
- D. Change Orders may be issued based upon lump sum, unit price, and time and materials pricing.
- E. Execution of Change Orders: The Construction Manager will issue Change Orders for the signatures of parties as provided in the Conditions of the Contract.

- END -

**Section 01039
Coordination and Meetings**

PART 1 – GENERAL

1.01 SECTION INCLUDES

- A. Coordination
- B. Preconstruction Conference
- C. Progress Meetings
- D. Pre-installation Conferences

1.02 RELATED SECTIONS

- A. Section 01300 - Submittals: Progress Schedules, Shop Drawings, and Product Data and Samples
- B. Section 01400 - Quality Control
- C. Section 01700 - Contract Closeout: Project Record Drawings

1.03 COORDINATION

- A. Coordinate scheduling, submittals, and work of the various sections of specifications to assure an efficient and orderly sequence of installation of the interdependent construction elements.
- B. Coordinate completion and clean up of the work in separate sections in preparation for substantial completion.
- C. Coordinate access to the site for correction of defective work and work not in accordance with Contract Documents to minimize disruption of the Owner's activities.
- D. Work Plan- Coordinate work plan on construction phasing for wall repair. Construction initial phase to start on Timothy Court and proceed clock-wise court to court for each phase through the project site.

1.04 PRECONSTRUCTION CONFERENCE

- A. The Construction Manager will schedule a conference after the Notice of Award.
- B. Attendance Required; Contractor, Major Sub-contractors and Construction Manager
- C. Agenda:
 - 1. Designation of personnel representing parties of the Contract.
 - 2. Procedures for processing Contract Documents, Change Orders Applications for Payment.
 - 3. Scheduling and Notification

4. Use of the Premises, Security Housekeeping
5. Maintaining Record Documents

1.05 PROGRESS MEETINGS

- A. The Construction Manager shall schedule and administer meetings throughout progress of the work at monthly intervals.
- B. Meetings will be onsite or at the Construction Managers offices.
- C. Attendance required; Contractors Project Manager, Job Superintendent, and Construction Manager(s) as appropriate to agenda topics.
- D. Suggested Agenda
 1. Review work progress
 2. Field observations, problems and decisions
 3. Review of submittals schedule and status of submittals
 4. Review of off site fabrications and delivery schedules
 5. Maintenance of progress schedules
 6. Planned progress during succeeding work period
 7. Maintenance of quality and work standards
 8. Effect of proposed changes, progress coordination
 9. Other business related to the work

-END -

**Section 01090
Reference Standards**

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Quality Assurance
- B. Schedule of References

1.02 QUALITY ASSURANCE

- A. For products or workmanship specified by association, trade, or Federal Standards comply with requirements of the standard, except when more rigid requirements are specified or are required by applicable codes.
- B. Conform to reference standard by date of issue current on date of Contract Documents.
- C. Obtain copies of standards when required by Contract Documents.
- D. Maintain copies at job site during submittals, planning, and progress of the specific work, until substantial completion.
- E. Should specified reference standards conflict with Contract Documents, request clarification from Construction Manager before proceeding.
- F. The contractual relationship of the parties to the Contract shall not be altered from the Contract Documents by mention or inference otherwise in any reference document.
- G. This section is provided for the convenience of the Contractor, at all times it will be the Contractors responsibility to perform the work appropriately.

1.03 SCHEDULE OF REFERENCES

- AA Aluminum Association
818 Connecticut Avenue, N.W.
Washington, DC 20006
- AASHTO American Association of State Highway and Transportation Officials
444 North Capitol Street, N.W.
Washington, DC 20001
- ACI American Concrete Institute
Box 19150
Reford Station
Detroit, MI 48219
- AGCA Associated General Contractors of America
1957 E Street, N.W.
Washington, DC 20006

| | |
|------|--|
| AI | Asphalt Institute Asphalt Institute Building College Park, NM 20740 |
| AIA | American Institute of Architects 1735 New York Avenue, N.W. Washington, DC 20006 |
| AISC | American Institute of Steel Construction 400 North Michigan Avenue Eighth Floor Chicago, IL 60611 |
| AISI | American Iron and Steel Institute 1000 16th Street, N.W. Washington, DC 20036 |
| AITC | American Institute of Timber Construction 333 W. Hampton Avenue Englewood, CO 80110 |
| ANSI | American National Standards Institute 1430 Broadway New York, NY 10018 |
| APA | American Plywood Association P.O. Box 11700 Tacoma, WA 98411 |
| ARMA | Asphalt Roofing Manufacturers Association 6288 Montrose Road Rockville, NM 20852 |
| ASTM | American Society for Testing and Materials 1916 Race Street Philadelphia, PA 19103 |
| AWS | American Welding Society 550 LeJeune Road, N.W. Miami, FL 33135 |
| AWWA | American Water Works Association 6666 West Quincy Avenue Denver, CO 80235 |
| CRSI | Concrete Reinforcing Steel Institute 933 Plum Grove Road Schaumburg, IL 60195 |
| DH | Door and Hardware Institute 7711 Old Springhouse Road McLean, VA 22102 |

| | |
|--------|--|
| FGMA | Flat Glass Marketing Association 3310 Harrison White Lakes Professional Building Topeka, KS 66611 |
| FM | Factory Mutual System II 51 Boston-Providence Turnpike P.O. Box 688 Norwood, MA 02062 |
| FS | Federal Specification General Services Administration Specifications and Consumer Information Distribution Section (WFSIS) Washington Navy Yard, Bldg. 197 Washington, DC 20407 |
| GA | Gypsum Association 1603 Orrington Avenue Evanston, IL 60201 |
| ICBO | International Conference of Building Official 5360 S. Workman Mill Road Whittier, CA 90601 |
| NAAMM | National Association of Architectural Metal Manufacture 221 North LaSalle Street Chicago, IL 60601 |
| NFPA | National Fire Protection Association Battery March Park Quincy, IL 02269 |
| NFPA | National Forest Products Association 1619 Massachusetts Avenue, N.W. Washington, DC 20036 |
| NWMA | National Woodwork Manufacturers Association 205 W. Touhy Avenue Park Ridge, IL 60068 |
| PCA | Portland Cement Association 5420 Old Orchard Road Skokie, IL 60077 |
| PS | Product Standard U. S. Department of Commerce Washington, DC 20203 |
| RCSHSB | Red Cedar Shingle and Hand split Shake 515 116th Avenue Belview, WA 98004 |
| SDI | Steel Door Institute 712 Lakewood Center North 14600 Detroit Avenue Cleveland, OH 44107 |

SIGMA Sealed Insulating Glass Manufacturers Association
III East Wacker Drive
Chicago, IL 60601

SMACNA Sheet Metal and Air Conditioning Contractors National Association
8224 Old Court House Road
Vienna, VA 22180

SSPC Steel Structures Painting Council
4400 Fifth Avenue
Pittsburgh, PA 15213

TCA Tile Council of America, Inc.
P.O. Box 326
Princeton, NJ 08540

UL Underwriters' Laboratories, Inc.
Pfungston Road
Northbrook, IL 60062

WCLIB West Coast Lumber Inspection Bureau
6980 S.W. Varnes Road
Portland, OR 97223

WIC Woodwork Institute of California
1833 Broadway
Fresno, California 93773

WWPA Western Wood Products Association
1500 Yeon Building
Portland, OR 97204

- END -

Section 01120
Alteration Project Procedures

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Products and installation for patching and extending work
- B. Transition and Adjustments
- C. Repair of Damaged Surfaces, Finishes and Cleaning

1.02 RELATED SECTIONS

- A. Section 01010 - Summary of work: Resident Occupancy
- B. Section 01500 - Construction Facilities and Temporary Controls

PART 2 – PRODUCT

2.01 PRODUCTS FOR PATCHING AND EXTENDING WORK

- A. New materials; as specified in product sections
- B. Match existing products and work for patching and extending work
- C. Type and quality of existing products: Determine by inspection and testing referring to existing work as a standard.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Verify that demolition is complete and areas are ready for the installation of new work.
- B. Beginning of restoration work means acceptance of existing conditions.

3.02 PREPARATION

- A. Cut, move or remove items as necessary for access to alterations and renovation work. Replace and restore at completion.
- B. Remove unsuitable material not marked for salvage, such as rotted wood, corroded metals and deteriorated masonry and concrete. Replace materials as specified for finished work.
- C. Remove debris and abandoned items from area and from concealed spaces.
- D. Close openings in exterior surfaces to protect existing work and salvage items from weather and extremes of temperature and humidity.

3.03 INSTALLATION

- A. Coordinate work of alterations to expedite completion and to accommodate Owner occupancy.
- B. Project Finishes: Complete in all respects
- C. Remove, cut and patch work in a manner to minimize damage and to provide a means of restoring products and finishes to specified condition.
- D. In addition to specified work, restore to full operational condition existing plumbing, heating, ventilation, air conditioning, and electrical systems affected by the work.

3.04 TRANSITIONS

- A. Where new work abuts or aligns the existing, perform a smooth and even transition.
- B. Patch work to match existing adjacent work in texture and appearance.
- C. When finished surfaces are cut so that a smooth transition with new work is not possible, terminate existing surface along a straight line at a natural line of division and/ or make a recommendation to the Construction Manager.

3.05 ADJUSTMENTS

- A. Where a change of plane greater than 1/8 inch or more occurs, request instructions from the Construction Manager, for approved methods of repair.

3.06 REPAIR OF DAMAGED SURFACES

- A. Patch or replace portions of existing surfaces/substrate, which are damaged due to the work of this contract.

3.07 FINISHES

- A. Finish surfaces as specified in individual product sections.
- B. Finish patches to uniform finish and texture over the entire area, when finish cannot be matched, refinish entire surface to nearest intersection.
- C. Contract assumes painted drywall finishes. Where wallpaper finishes occur, finish to flat wall with 1 coat of primer, ready for wallpaper.

3.08 CLEANING

- A. In addition to cleaning specified in Section 01500 and 01700, clean Residents occupied areas of work daily. Final cleanup upon completion of work within time scheduled for unit completion.

- END -

**Section 01300
Submittals**

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Submittal Procedures
- B. Construction Progress Schedules
- C. Proposed Products List
- D. Shop Drawings
- E. Product Data
- F. Samples
- G. Manufacturers Instructions
- H. Manufacturers Certificates

1.02 RELATED SECTIONS

- A. Section 01019 - Contract Considerations
- B. Section 01400 - Quality Control
- C. Section 01700 - Contract Close out

1.03 SUBMITTAL PROCEDURES

- A. **Contractor to prepare a submittal list for all items planned to be submitted for approval to the Construction Manager within 10 days after execution of Owner/ Contractor Agreement.**
- B. Deliver submittals to the Construction Manager at the address listed on the cover page. 4 COPIES OF EACH
- C. Transmit each submittal with a Construction Manager accepted form sequentially numbered.
- D. Identify project, installer, drawing/specification number as appropriate.
- E. Indicate Contractors review, provide space for Construction Manager review stamps.
- F. Provide schedule of submittals designed to expedite the project.
- G. Identify variations, limitations and/or detrimental aspects of the item submitted.
- H. Revise and re-submit submittal as required identifying all changes made since previous submittal.

1.04 CONSTRUCTION PROGRESS SCHEDULES

- A. Submit initial progress schedule (4 copies) within 10 days after execution of the Owner / Contractor Agreement.
- B. Revise and re-submit as required.
- C. Submit revised schedules with each Application for Payment identifying changes since previous version.
- D. Submit in horizontal bar chart format, or other format approved by the Construction Manager.
- E. Show complete sequence of activity, identifying work of separate stages, units involved and other logically grouped activities to clearly convey planned/actual progress.
- F. Maintain a daily work progress schedule in the job trailer, accessible to the Construction Manager at all times, updated daily by the Contractor, detailed so that progress of each trade/each unit can be tracked.

1.05 PRODUCTS

- A. Submit Products list within 15 days of the Agreement.

1.06 SHOP DRAWINGS

- A. Submit in the form of 1 reproducible transparency and 3 copies.

1.07 SAMPLES

- A. Submit as required per specification section.

1.08 MANUFACTURERS INSTRUCTIONS / CERTIFICATES

- A. Shall be submitted when applicable per specification section.

- END -

Section 01400
Quality Control

PART I - GENERAL

1.01 SECTION INCLUDES (Contractor to perform all work unless otherwise noted.)

- A. Quality assurance and control of installation
- B. Inspection and testing laboratory services.
- C. Manufacturers' field services and reports.

1.02 RELATED SECTIONS

- A. Section 01090 - Reference Standards
- B. Section 01300 - Submittals: Submission of Manufacturers' Instructions and Certificates.
- C. Section 01600 - Material and Equipment: Requirements for material and product quality.

1.03 QUALITY ASSURANCE, AND CONTROL OF INSTALLATION

- A. With 7 days of award the contractor shall submit to the Construction Manager for approval a complete written quality control plan detailing the steps and procedures the Contractor will take to insure that all work is installed to meet all requirements of the agreement, applicable manufacturer and code requirements and conditions of the project. The plan should also name the contractors personnel or individuals responsible for carrying out these procedures.
- B. Should the Contractor fail to provide and maintain a workable quality control plan, the Construction Manager may stop all work; appoint an independent quality control personnel and guidelines at the Contractors expense. In the event the Contractor is ultimately unable to meet the quality standards required, the Contractor may be terminated and all damages due the owner will be collected from the Contractor, including Construction Management costs.
- C. Punch List
 - 1. The Contractor is compelled to pre-punch all work previous to requesting acceptance. The Contractor shall advise the Construction Manager in writing when he feels all work is 100% complete and ready for final inspection. At that time the Construction Manager shall schedule a date and time to review the work with the Contractor, and create a punch list.

Please Note: Should the work not be complete the Construction Manager may not schedule review or terminate the process until the Contractor completes the work.

- 2. The Contractor shall diligently complete all punch list items and advise the Construction Manager in writing by item that each component has been completed. At that time the Construction Manager will make a final review and if complete, begin close out procedures.
- 3. Should the Contractor work remain incomplete or require additional inspections or create delays the contractor will be responsible for all costs associated including

Construction Management costs. This includes failure to provide necessary protection of work from weather and hazards to inhabitants and visitors.

- D. Call Backs
 - 1. The contractor shall respond to all warranty calls quickly and reasonably to fit the situation.
- E. Maintain quality control over suppliers, manufacturers, Products, services, site conditions, and workmanship, to produce Work of specified quality.
- F. Comply fully with manufacturers' instructions, including each step in sequence.
- G. Should manufacturers' instructions conflict with Contract Documents, request clarification from Construction Manager before proceeding.
- H. Comply with specified standards as a minimum quality for the Work except when more stringent tolerances, codes, or specified requirements indicate higher standards or more precise workmanship.
- I. Perform Work by persons qualified to produce workmanship of specified quality.
- J. Secure Products in place with positive anchorage devices designed and sized to withstand stresses, vibration, physical distortion or disfigurement.
- K. Should the Contractor fail to provide the necessary quality control, any cost to provide the necessary quality control shall be an additional cost to be paid by the Contractor.
- L. Initial inspections during the construction process by the Construction Manager inspections are included within the contract scope. Additional or repeat inspections shall be billed to the Contractor at current CM rates.

1.04 INSPECTION AND TESTING LABORATORY SERVICES

- A. The Owner will employ and pay for services of an independent firm to perform inspection and testing, if and as required by individual specification sections.
- B. The independent firm will perform inspections, tests and other services specified in individual specification sections as required by the Construction Manager.
- C. Reports will be submitted by the independent firm to the Construction Manager indicating observations and results of tests, compliance or non-compliance with Contract Documents.
- D. Cooperate with independent firm- furnish samples of materials, design mix, equipment, tools, storage and assistance as requested.
 - 1. Notify Construction Manager and independent firm 48 hours prior to expected time for operations requiring inspection.
 - 2. Make arrangements with independent firm and pay for additional samples and tests required for Contractor's use.
 - 3. The same independent firm on the instructions of the Construction Manager shall perform re-testing required because of non-conformance to specified requirements; payment for retesting will be charged to the Contractor by deducting inspection or testing charges from the Contract Sum.

1.05 MANUFACTURERS' FIELD SERVICES AND REPORTS

- A. When specified in individual specification Sections, require material or product suppliers or manufacturers to provide qualified staff personnel to observe site conditions, conditions of surfaces and installation, quality of workmanship, as applicable, and to initiate instructions when necessary.
- B. Require individuals to report observations and site decisions or instructions given to applicators or installers that are supplemental or contrary to manufacturers' written instructions.
- C. Submit report within 15 days of observation to Construction Manager for review.

1.06 CLEANUP

- A. Contractor is advised that site is occupied. Constant attention to cleanup is required to insure the safety and continued use and enjoyment of the premises by the homeowners.
- B. Contractor is notified and hereby agrees that violations of Section A above shall result in a fine. Violations may be witnessed by Construction Manager or reported by homeowners.
- C. The fine schedule shall be \$250 for the first offense, \$500 for the second, and \$1,000 for the third. All fines shall be administered as a back-charge to Contractor and shall not unreasonably be imposed.
- D. In the event of a fourth offense, Construction Manager shall have the option to impose another \$1,000 fine, or, by written notice to Contractor, hire a janitorial service to perform clean up duties on the site. All costs of said service shall be paid by Contractor.
- E. Construction Manager may, at its sole option, back-charge Contractor for reasonable administrative costs in connection with this Section.

- END -

Section 01500
Construction Facilities and Temporary Controls

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Temporary Utilities: Electricity, water, and sanitary facilities.
- B. Temporary Controls: Security barriers, enclosures and fencing, and protection of the Work.
- C. Construction Facilities: Parking, progress cleaning and project identification

1.02 RELATED SECTIONS

- A. Section 01700 - Contract Closeout: Final cleaning

1.03 TEMPORARY ELECTRICITY AND LIGHTING

- A. Contractor shall use house meters for electrical power if available on site if not Contractor shall provide its own generator. All electrical work required to provide power from house meters or generator to locations shall be by the Contractor.
- B. Provide power outlets for construction operations, with branch wiring and distribution boxes as required.
- C. Existing lighting may be utilized during construction. Maintain lighting and make routine repairs.

1.04 TEMPORARY VENTILATION

- A. Ventilate enclosed areas to assist cure of materials, to dissipate humidity, and to prevent accumulation of dust, fumes, vapors, or gases.

1.06 TEMPORARY WATER SERVICE

- A. Connect to existing hydrant with meter (by Contractor) for construction operations if water is needed other than from hose bibs.
- B. Extend branch piping with outlets located so water is available by hoses with threaded connections.

1.07 TEMPORARY SANITARY FACILITIES

- A. The Contractor will provide and maintain toilet facilities as necessary to support all work persons.
- B. **Do not** use existing facilities in private units or Clubhouse.
- C. Portable Toilets shall be kept in the **staging area only**.

1.08 BARRIERS

- A. Provide barriers to prevent unauthorized entry to construction areas and to protect existing facilities and adjacent properties from damage from construction operations and demolition.
- B. Provide protection for landscape irrigation system. Replace damaged landscape irrigation system.
 - 1. Protect landscape irrigation system.
 - 2. Notify Construction Manager of damage to irrigation system.
- C. Protect stored materials, site and structures from damage.

1.09 EXTERIOR ENCLOSURES

- A. Provide temporary weather-tight closure of exterior openings.
 - 1. Close exterior openings where work is incomplete and cannot be completed the same day.
 - 2. Materials: 4-mil polyethylene sheet, secured with wood battens, or as otherwise approved by Construction Manager.

1.10 PROTECTION OF EXISTING AND INSTALLED WORK

- A. Protect existing and installed work and provide special protection where specified in individual specification Sections.
- B. Provide temporary and removable protection for installed Products.
- C. Control activity in immediate work area to minimize damage.
- D. Prohibit traffic or storage upon waterproofed surfaces.
 - 1. If traffic or activity is necessary, obtain recommendations for protection from waterproofing material manufacturer.
- E. Prohibit traffic on landscaped areas.

1.11 SECURITY

- A. Provide security program to protect work, existing facilities, and Owner's operations from unauthorized entry, vandalism, or theft.
- B. Coordinate with Owner's security program.

1.12 PARKING

- A. See Section 01010 - Summary of work

1.13 PROGRESS CLEANING

- A. Maintain areas free of waste materials, debris, and rubbish. Maintain site in a clean and orderly condition.

- B. Remove waste materials, debris, and rubbish from site weekly and dispose off-site, in legal manner.

1.14 STORAGE CONTAINERS

- A. Storage of Materials - The Contractor shall provide and install at the Contractors expense, storage facilities for all materials and equipment. All materials must be stored in a safe and orderly fashion per manufacturers recommendations. Materials and equipment must be stored in a container designed for this purpose and / or in a fenced yard. Temporary construction fencing shall be 6 feet high wire mesh with redwood lath or equal, without damaging existing asphalt.
- C. Staging area shall be at the location authorized by Owner.

1.15 REMOVAL OF UTILITIES, FACILITIES, AND CONTROLS

- A. Remove temporary equipment, facilities, and materials, prior to Substantial Completion Inspection.
- B. Clean and repair damage caused by installation or use of temporary work.
- C. Restore existing facilities used during construction to original or specified condition.

1.16 DEBRIS DUMPSTER

- A. All debris removal will be provided by the Contractor. Contractor to bill for debris bins at the end of the project

1.17 SCAFFOLDING

- A. Contractor to provide scaffolding as needed and provide climb protection plan.

- END

**Section 01600
Material and Equipment**

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Products
- B. Transportation and Handling
- C. Storage and Protection
- D. Product Options

Substitutions

1.02 RELATED SECTIONS

- A. Section 01400 - Quality Control: Product Quality Monitoring

1.03 PRODUCTS

- A. Products: Means new material, components, fixtures, and systems forming the work.
- B. Products may also include existing materials or components required for reuse.
- C. Do not use materials and equipment removed from existing premises, except as specifically required or permitted by the Contract Documents.
- D. Provide interchangeable components of the same manufacturer, for similar components.

1.04 TRANSPORTATION AND HANDLING

- A. Transport and handle products in accordance with manufacturer's instructions.
- B. Transport and handle products in a manner to prevent damage to products.
- C. Deliver product in undamaged condition in manufacturers unopened containers or packaging, dry.
- D. Promptly inspect shipments to assure that products comply with requirements, quantities are correct, and products are undamaged.
- E. Provide equipment and personnel to handle products by methods capable of preventing soiling, disfigurement, or damage.

1.05 STORAGE AND PROTECTION

- A. Store and protect products in accordance with manufacturer's instructions, with seals and labels intact and legible.

1. Store sensitive products in weather-tight, climate controlled enclosures.
- B. For exterior storage of fabricated products, place on sloped supports, above ground.
- B. Cover products subject to deterioration with impervious sheet covering; provide ventilation to avoid condensation.
- C. Provide equipment and personnel to store, products by methods to prevent soiling, disfigurement, or damage.
- D. Arrange storage of products to permit access for inspection.
- E. Periodically inspect to assure products are undamaged and are maintained under specified conditions.

1.06 PRODUCT OPTIONS

- A. Products specified by reference standards or by description only: Any product meeting those standards or description.
- B. Products specified by naming one or more manufacturers: Products of manufacturers named and meeting specifications, no options or substitutions allowed.
- C. Products specified by naming one or more manufacturers with a provision for substitutions: Submit a request for substitution for any manufacturer not named.
- D. Products specified by naming only one manufacturer: No options, no substitutions allowed.

1.07 SUBSTITUTIONS

- A. Construction Manager will consider requests for Substitutions only within 15 days after date of Owner-Contractor Agreement.
- B. Subsequently substitutions may be considered only when a product becomes unavailable through no fault of the Contractor.
- C. Document each request with complete data substantiating compliance of proposed Substitution with Contract Documents.
- D. A request for substitution constitutes a representation that the Contractor:
 1. Has investigated proposed product and determined that it meets or exceeds the quality level of the specified product.
 2. Will provide the same warranty for the Substitution as for the specified product.
 3. Will coordinate installation and make changes to other work, which may be required for the work to be complete with no additional cost to Owner.
 4. Waives claims for additional costs or time extension, which may subsequently become apparent.
 5. Will reimburse Owner for review or redesign services associated with re-approval by the Construction Manager.
- E. Substitutions will not be considered when they are indicated or implied on shop drawing or product data submittals, without separate written request, or when acceptance will require revision to the Contract Documents.

F. Substitution Submittal Procedure

1. Submit 3 copies of request for Substitution for consideration.
2. Limit each request to one proposed Substitution.
3. Submit shop drawings, product data, and certified test results attesting to the proposed product equivalence.
4. The Construction Manager will notify Contractor, in writing, of decision to accept or reject request.

- END -

**Section 01700
Contract Closeout**

PART 1 - GENERAL

1.01 SECTION INCLUDES

- A. Closeout Procedures
- B. Final Cleaning
- C. Project Record Documents
- D. Warranties
- E. Maintenance Materials

1.02 RELATED SECTIONS

- A. Section 01500 - Construction Facilities and Temporary Controls: Progress cleaning.
- B. Section 01750 – Guarantees.

1.03 CLOSEOUT PROCEDURES

- A. Submit written certification that Contract Documents have been reviewed, Work has been inspected, and that work is complete in accordance with Contract Documents and ready for Construction Manager's inspection.
- B. Provide submittals to Construction Manager that are required by governing or other authorities.
- C. Submit final Application for Payment identifying total adjusted contract sum, previous payments, and sum remaining due.

1.04 FINAL CLEANING (Where Applicable)

- A. Execute final cleaning prior to final inspection.
- B. Clean debris from roofs, gutters, downspouts, and drainage systems.
- C. Clean site; sweep paved areas, rake clean landscaped surfaces.
- D. Remove waste and surplus materials, rubbish, and construction facilities from the site.

1.05 PROJECT RECORD DOCUMENTS (As-Built Drawings)

- A. Maintain on site, one set of the following record documents; record actual revisions to the Work:
 - 1. Contract Drawings
 - 2. Specifications
 - 3. Addenda

4. Change Orders and other Modifications to the Contract
 5. Reviewed shop drawings, product data, and samples
- B. Store Record Documents separate from documents used for construction.
 - C. At contract closeout, submit documents with transmittal letter containing date, project title, contractor's name and address, list of documents, and signature of contractor.
 - D. Contractor shall turn over "as-built" drawing to the Owner at the job closeout.

1.06 WARRANTIES – REFER TO SECTION 1750

1.07 MAINTENANCE MATERIALS

- A. Provide products, maintenance and extra materials in quantities specified in individual specification Sections.
- B. Deliver to Project site and obtain receipt prior to final payment.

- END -

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**Section 01750
Guarantees**

PART 1 - GENERAL

1.01 CONTRACTOR GUARANTEE

- A. The Contractor shall guarantee the installation of all work installed for a period of five (5) years from the date of substantial completion of the project. The Contractor shall make all repairs during this period to maintain the watertight and in conformance with these specifications without additional cost to Sycamore Glen Homeowners Association. The Association has the right, in the case of emergency at any time during this period and without invalidating this guarantee, to make any temporary repairs that are required in order to protect the building and the contents of the building from damage due to water intrusion.
- B. Contractor guarantees and manufacturer guarantees are of the essence of this contract. Failure of CONTRACTOR to provide any guarantee on a timely basis shall be considered a material breach of contract.
- C. In addition to Contractor's phone number, a 24 hour (including weekends and holidays) emergency number must be provided by the Contractor.

1.02 MANUFACTURER'S GUARANTEES

- A. Indicate that manufacturer's recommendation has been followed and work installed is fully warranted by the manufacturer per the manufacturers warranty for a period of
 - 1. James Hardie Products –
 - a. Siding (Panel) – No less than thirty (30) years from the date of acceptance.
 - b. Trim - No less than ten (10) years from the date of acceptance

- END -

Section 02050
Removal and Disposal

PART 1 - GENERAL

1.01 WORK INCLUDED

- A. This section applies to removal and disposal of non-asbestos containing materials.
- B. Contractor shall completely remove all materials stated for removal, including any and all wood siding, flashing & other materials removed.

PART 2 - PRODUCTS

2.01 EQUIPMENT

- A. Products and/or equipment routinely required for removal and disposal of this type include:
 - 1. Chutes or enclosures for confined transport of debris to minimize dust and scattering of materials beyond the disposal containers, vehicles, etc.
 - 2. Other products and tools, as approved by Consultants, required for safe and orderly removal and conveyance of said site.

PART 3 - EXECUTION

3.01 REMOVAL

- A. Contractor shall remove all materials stated in scope of work.
- B. Contractor is to keep the premises clean and free from accumulations of waste materials and rubbish at all times. He shall remove all debris, scrap, and rubbish from the work area daily. He shall not throw or drop material from the roof; he is to use fixed chutes to slide materials, or other means approved by the Owner, to prevent injury or damage to personnel, equipment, building or premises.
- C. Materials shall not be stockpiled on the roof. The Contractor is responsible for all damage resulting from overloading the existing roof deck and its related structure.
- D. No free-fall of debris into containers on lower roof areas is permitted.
- E. Contractor is responsible for keeping building watertight during roof demolition any and all damage internally is the responsibility of the Contractor.
- F. Contractor shall sweep entire work area with a magnetic broom at the end of each workday.

3.02 DISPOSAL OF MATERIALS

- A. All materials to be disposed of shall be loaded directly into trucks or disposal containers by means of approved methods that will prevent damage to building and grounds, and to preclude pollution.

- B. No accumulation in the staging area of materials to be disposed will be permitted at any time. The Contractor is responsible for prompt removal from the site and disposal in accordance with local codes and ordinances.
- C. Contractor will adhere to all local recycling requirements at no additional costs to the HOA.

- END -

Section 02070
Selective Demolition

PART 1- GENERAL

1.01 SECTION INCLUDES

- A. Demolition of and removal of designated materials from site.
- B. Refer to items as scheduled at end of section.

1.02 RELATED SECTIONS

- A. Section 01010 - Summary of Work: Work Sequence for Owner Continued Occupancy
- B. Section 01120 - Alteration Project Procedures
- C. Section 01500 - Construction Facilities and Temporary Controls: Barriers, Fences and Landscape Protection
- D. Section 01600 - Material and Equipment
- E. Section 01700 - Contract Closeout: Project record documents.

1.03 SUBMITTALS

- A. Submit under provisions of Section 01300

1.04 REGULATORY REQUIREMENTS

- A. Conform to applicable codes and regulations for demolition of structures, safety of adjacent structures, dust control, and disposal.
- B. Obtain required permits from authorities.
- C. Notify affected utility companies before starting work and comply with their requirements.
- D. Do not close or obstruct sidewalks or hydrants without permits.
- E. Conform to applicable regulatory procedures when discovering hazardous or contaminated materials.

1.05 SEQUENCING

- A. Sequence work under the provisions of Section 01010.

1.06.1 SCHEDULING

- A. Schedule works under the provisions of Section 01300.
- C. Include a brief description of demolition removal procedures with schedule.

PART 2- PRODUCTS (Not Used)

PART 3- EXECUTION

3.01 PREPARATION

- A. Provide, erect, and maintain temporary barriers and security devices as required for conduct of the work.
- B. Protect existing landscaping materials, appurtenances, structures, and finish materials which are not to be demolished.
- C. Prevent movement or settlement of adjacent structures. Provide bracing and shoring.
- D. Mark location of utilities.
- E. Protect utilities that remain from damage.
- F. Protect trees, plant growth, and features not designated to be removed.
- G. Protect existing structures and paving from damage or displacement.
- H. Where nature of demolition requires their use, erect and maintain trash and dust chutes for disposal of materials, rubbish and debris.
- I. Access for demolition and for removal of demolition debris from unit decks and balconies shall be from deck/balcony perimeters; no access is available through interior of occupied units.

3.02 DEMOLITION REQUIREMENTS

- A. Conduct demolition to minimize interference with adjacent occupancies.
- B. Conduct operations with minimum interference to public or private accesses; maintain egress and access at all times.

3.03 DEMOLITION

- A. If encountered, disconnect, cap, and identify designated utilities within demolition areas; protect those utilities to remain from damage.
- B. Remove materials to be re-installed or retained in manner to prevent damage.
 - 1. Store and protect in accordance with requirements of Section 01600.
- C. Remove demolished materials and debris from site.
- D. Do not burn or bury materials on site.
- E. Leave site in clean condition.
- F. Remove temporary work.

- END -

**Section 06100
Rough Carpentry**

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes: (Parts omitted)
 - 1. Blocking: wood used for plates, furring, shimming, stripping, sleepers, grounds, curbing, cants, bracing, nailers, and filling in between framing members.
 - 2. Plywood Sheathing: where required.
 - 3. Framing: dimension lumber where required.
 - 4. Gypsum Sheathing: where required.
- B. Related Sections:
 - 1. Section 06200-Finish Carpentry

1.2 SUBMITTALS

- A. Product Data: Provide product data on wood treatment materials: include historical performance information.
- B. Submit Following Informational Submittals:
 - 1. Certifications specified in Quality Assurance article
 - 2. Manufacturer's instructions for wood treatment materials

1.3 QUALITY ASSURANCE

- A. Grade Marks:
 - 1. Identify lumber and plywood by official grade mark.
 - 2. Lumber: Include symbol of grading agency, mill name, grade, species, grading rules, and condition of seasoning at time of manufacturer.
 - 3. Plywood: Include type, class identification index, and agency mark.
 - 4. Pressure treatment: Include quality mark of grading agency which maintains continued supervision, testing, inspection, and re-examination service over product quality as described in AWPA standards.

1.4 DELIVERY, STORAGE AND HANDLING

- A. Storage and Protection:
 - 1. Store products above ground, on platforms or skids, and covered with waterproof coverings.
 - 2. Store products with ventilation, drainage, and protection against damp or wet locations.
 - 3. Support products to prevent warping and distortion.

PART 2 - PRODUCTS

2.1 SOLID SAWN LUMBER

- A. Lumber Grading Agency: Certified by American Lumber Standards Committee or NLGA.
- B. Grading rules of NLGA, SPIB, WCLIB, and WWPA apply to respective materials furnished

- C. Comply with PS-20.
- D. Dimensions: Lumber dimensions are nominal; actual dimensions conform to PS-20 and applicable rules writing agencies.
- E. Maximum moisture content at time of dressing: 19 percent.
- F. Surfacing: Surface four sides (S4S), unless noted otherwise.
- G. Finger-jointed lumber is not permitted.
- H. Size classification: 2 to 4 inches thick; 2 inches to 4 inches wide.
- I. General Structural Framing: Stud grade, any species.
- J. Blocking: Utility grade, any species.

2.2 PLYWOOD

- A. Grading Rules:
 1. PS-1 or APA PRP-108..
 2. Plywood Grading Agency: Certified by APA.
 3. Species Groups: 1 through 4, as required for span rating.
- B. Uses, Grades, and Ratings:
 1. Wall Sheathing:
 - a. Grade: C-D.
 - b. Span Rating: 16/0.

2.3 FASTENERS

- A. Provide fasteners in sizes, spacing, and locations to suit applications.
- B. Anchors:
 1. Toggle bolt type for anchorage to hollow masonry.
 2. Expansion shield and lag bolt type for anchorage to solid masonry or concrete.
 3. Bolts or ballistic fasteners for anchorage to steel.
- C. Bolts: ASTM A307 with nuts and washers.
- D. Anchor Bolts: ASTM A307 with nuts and washers.
- E. Lag Screws and Lag Bolts: ANSI B18.6.1.
- F. Wood Screws: ANSI B18.2.1 with washers
- G. Nails, Staples, and Spikes: FS FF-N-105
- H. Structural Connectors:
 1. Simpson Strong-Tie Co. Inc., or equal.
 2. Simpson Hold Down to be HD5
 3. Types as shown on the drawings or as required to replace existing as shown.
 4. Galvanized finish.

2.4 WOOD TREATMENTS

- A. Kiln dry pressure-treated products after treatment to following maximum moisture contents:
 - 1. Lumber: 19-percent.
 - 2. Plywood: 15-percent

- B. Preservative Pressure Treatment::
 - 1. Solid sawn lumber: Comply with AWPA C2.
 - 2. Plywood: Comply with AWPA C9.
 - 3. Use waterborne preservatives.
 - 4. Do not incise surfaces of lumber at exposed to view locations.
 - 5. Treat following items for above ground use:
 - a. Grounds in contact with concrete.
 - b. Wood used with flashing and waterproofing.

- C. Preservative Cut Surface Treatment Applied at Site:
 - 1. Description:
 - a. Comply with AWPA M4
 - b. Water repellent containing a 2-percent copper naphthenate solution.
 - c. Compatible with preservative pressure treatment.
 - d. Pigment: Colored.
 - 2. Acceptable Products and Manufacturers:
 - a. Green EndCoat, Osmose Wood Preserving, Inc., Griffin, GA.

PART 3 – EXECUTION (Parts omitted)

3.1 EXAMINATION

- A. Examine conditions and proceed with work.

- B. Site Verification of Conditions:
 - 1. Verify end supports are ready to receive framing.
 - 2. Before installation, check members for damage and proper dimensions.

3.2 PREPARATION

- A. Wood Treatment Applied to Cut Surfaces at Site:
 - 1. Comply with AWPA M4.
 - 2. Apply preservative treatment in accordance with manufacturer’s instructions to:
 - a. Preservative pressure treated wood site-sawn ends.
 - b. Holes cut through preservative pressure treated wood.
 - 3. Allow preservative to cure prior to erecting members.

3.3 CONSTRUCTION

- A. General:
 - 1. Construct plumb, level, true to line, square, and free from warp or twist while maintaining dimensional tolerances and alignment with surrounding construction.
 - 2. Comply with AFPA NDS for attaching to substrates by anchoring and fastening to draw and securely hold members rigidly in place.
 - 3. Install fasteners at spacing required by more stringent requirements of AFPA NDS or applicable building code.
 - 4. Comply with APA E30 requirements for plywood.
 - 5. Place horizontal and sloped members with crown edge up.
 - 6. Place vertical members with crown edge facing in same direction.
 - 7. Discard Material:
 - a. With defects which might impair quality of work.

- b. Which are too small to fabricate work with minimum joints or optimum joint arrangement.
- 8. Scribe, cope, and construct members accurately cut and fitted.
- 9. Make tight connections between members to develop full member strength.
- 10. Locate members as indicated. Do not change size, spacing, or spans without Construction Manager's specific approval. Take care to place species and grades of members where indicated.
- 11. Do not splice framing members between support points.
- 12. Cut, notch, or bore members for passage of pipes and conduits in accordance with AFPA WCD. Reinforce members by use of formed sheet metal accessories.
- 13. Fasteners:
 - a. Use washers under bolt heads and nuts.
 - b. Select fasteners of size that will not penetrate members where opposite side will be exposed to view or will receive finish materials.
 - c. Install fasteners without splitting wood; predrill as necessary.
- 14. Shimming:
 - a. Concrete and masonry bearing: Use steel or slate shims.
 - b. Metal and wood bearing: Do not use shims.

B. Wood Blocking:

- 1. Construct using maximum practical lengths.
- 2. Cut and form to shapes for true line and level of work to be attached.
- 3. Coordinate location with other work involved.
- 4. Secure to masonry with metal plugs, toggle bolts, or expansion bolts set in masonry.
- 5. Attach to substrates to support applied loading.
- 6. Countersink bolts and nuts flush with wood surfaces.
- 7. Size as necessary unless specific size is indicated.

C. Plywood Sheathing:

- 1. Install panels with joints between panels staggered over center of supports.
- 2. Install over two or more supports.
- 3. Install with end joints staggered.
- 4. Install with panel joints not more than 1/8-inch wide.

3.4 TOLERANCES

- A. Match to existing framing, or ¼ inch in 8 feet maximum.

3.5 PROTECTION

- A. Protect finished work from damage.
- B. Protect products from moisture absorption and subsequent warping or deterioration until subsequent construction can proceed.

-END-

**Section 06200
Finish Carpentry**

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Exterior Finish Carpentry Work:
 - a. Hardie Panels with battens on separation walls.
 - b. Replacements of existing trims where required.
- B. Related Sections:
 - 1. Section 06100 – Rough Carpentry: Blocking, bracing and back-up framing.
 - 2. Section 07460 – Fiber Cement Siding
 - 3. Section 07620 – Flashing and Sheet Metal
 - 4. Section 07920 – Joint Sealants
 - 5. Section 09900 - Paints and Coatings: Field finishing of wood trim.

1.2 SUBMITTALS

- A. Product Data: Provide technical data on wood treatment materials, application instructions, and historical performance information.
- B. Samples: Provide 2 each type and species of plywood and finish lumber with applied finish.
- C. Certifications: Submit certifications required under Quality Assurance.

1.3 QUALITY ASSURANCE

- A. Fabrication and Installation Standards: Fabricate and install in accordance with AWI standards listed below.
 - 1. Standing and running trim: AWI Section 300.
 - 2. Installation: AWI Section 1700.
- B. Certifications: Submit manufacturer's certification that products furnished for Project meet or exceed specified requirements.
- C. Material for exposed use maybe inspected by I.W. Bison prior to installation. Material not deemed by I.W. Bison to meet specifications shall be rejected.

1.4 DELIVERY, STORAGE AND HANDLING

- A. Protect materials from damage, soiling, and deterioration.
- B. Do not deliver finish carpentry materials until job site conditions and operations, which could damage, soil or deteriorate work, are complete.
- C. Store products and materials in ventilated, interior locations under constant minimum temperature of 60 degrees F and relative humidity not to exceed 55 percent.

1.5 ENVIRONMENTAL REQUIREMENTS

- A. Do not install finish carpentry products in inclement weather, which may allow moisture to be trapped in concealed conditions.

PART 2 – PRODUCTS

2.1 MATERIALS

- A. General:
 - 1. Provide materials that comply with requirements of AWI woodworking standard for each type of woodwork and quality grade indicated.
 - 2. Products surfaced four sides, unless noted otherwise.
- B. Lumber:
 - 1. General: Lumber sizes indicated are nominal unless detailed by specific dimensions of actual size. Minimum material thickness is 3/4 inch actual, unless noted or shown otherwise.
- C. Exterior Lumber:
 - 1. Moisture Content: 19 percent or less.
 - 2. Quality Standards: Western Lumber Grading Rules, WWPA.
 - 3. Species and Quality: Redwood, B Heart Grade per California Redwood Association.

2.2 WOOD TREATMENTS

- A. Kiln Dry Pressure-Treated Products after Treatment to following Maximum Moisture Contents:
 - 1. Lumber: 19 percent.
 - 2. Plywood: 15 percent.
- B. Preservative Pressure Treatment:
 - 1. Plywood: Comply with AWPA C9.
 - 2. Use waterborne preservatives.
 - 3. Do not incise surfaces of lumber.
 - 4. Treat Lumber and Plywood:
 - a. Contact with concrete or masonry exterior walls.
 - b. Less than 8 inches from exposed earth.
 - c. Contact with concrete slabs and masonry slabs, which are in direct contact with the earth.
- C. Preservative Cut Surface Treatment Applied at Site:
 - 1. Description:
 - a. Comply with AWPA M4.
 - b. Compatible with preservative pressure treatment.
 - c. Pigment: Colored.
 - 2. Acceptable Products and Manufacturers:
 - a. Green EndCoat, Osiose Wood Preserving, Inc., Griffin, GA.

2.3 ACCESSORIES

- A. Bolts, Nuts, Washers, Lags, Pins, Nails, and Screws: Size and type to suit application.
- B. Metal Connectors and Anchors: Simpson or equal, non-corrosive. Type and installation details as indicated on the drawings.

2.4 FABRICATION

- A. Wood Moisture Content: Comply with requirements of specified inspection agencies and manufacturer's recommendations for moisture content of finish carpentry on relative humidity conditions existing during time of fabrication and in installation areas.
- B. Fabricate finish carpentry to dimensions, profiles, and details indicated.

2.5 FINISH

- A. Backprime wood items, and prime paint cut ends.
- B. Refer to Section 09900. Colors and finishes as selected.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine conditions and proceed with work.
- B. Verify that field measurements are as shown on drawings.
- C. Verify that mechanical, electrical, and other items affecting work of this Section are in place and ready to receive the work.
- D. Verify blocking, bracing, and back-up framing have been installed in accordance with Section 06100.

3.2 PREPARATION

- A. Prime paint or seal concealed surfaces and items or assemblies, which will be in contact with cementitious materials or surfaces.
- B. Make field cuts with extreme care to avoid splintering and rough edges at end cuts where exposed to view.

3.3 INSTALLATION

- A. Tolerances:
 - 1. Set and secure materials and components, rigid, plumb, and square.
 - 2. Maximum offset from true alignment with abutting materials: 1/32 inch unless otherwise specified or required by AWI grade.
 - 3. Maximum Variation from True Position: 1/16 inch unless otherwise specified or required by AWI grade.
- B. Shim as required using concealed shims.
- C. Cut to fit to exact size. Where woodwork abuts other finished work, scribe and cut for accurate fit. Where necessary to fit at site, provide ample allowance for cutting and fitting.
- D. Drill pilot holes at corners before making cutouts.
- E. Distribute defects in accordance with AWI quality grade.
- F. Install trim in un-jointed lengths for openings and for runs less than maximum length of lumber available. For longer runs, use only one piece less than maximum length available in straight run.

- G. Stagger joints in adjacent members.
- H. Attach woodwork securely in place with uniform joints providing for thermal, moisture, and building movements; blind nail where possible.
- I. Use finishing nails where exposed.
- J. Sanding/Filling:
 - 1. Sand work smooth and set exposed nails and screws.
 - 2. Apply wood filler in exposed nail and screw indentations and leave ready to receive finishes.
 - 3. On items to receive transparent finishes, use wood filler to matches surrounding surfaces and required for finishes.
- K. Secure woodwork to anchors, built-in blocking, or directly attach to substrates.

-END

**Section 07460
Fiber-Cement Siding**

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Fiber Cement Vertical Panels.
- B. Related Sections include the following:
 - 1. Section 06100 Rough Carpentry. Sheathing and moisture barrier.
 - 2. Section 06200 Finish Carpentry. Exterior wood trim.
 - 3. Section 07620 Flashing and Sheet Metal. Flashing, gutters, downspouts and other sheet metal work.
 - 4. Section 07920 Joint Sealants. Field-applied sealants.
 - 5. Section 09900 Paints and Coatings. Finish painting of fiber-cement siding and trim.

1.2 SUBMITTALS

- A. Product Data: For each type of product specified. Include identification of materials; dimensions of individual components; installation instructions; profile, and texture as specified.
- B. Samples for Initial Selection: Manufacturer's sample finishes showing the full range of profile and texture available as specified.
- C. Samples for Verification: Full-size units of each type of siding and trim indicated; in sets for each texture and pattern specified.
 - 1. 24-inch- wide-by-36-inch- high sample panels of lap siding and vertical panels assembled on plywood backing.
- D. Submittals: Within (10) days of owner's notice
 - 1. Submit three 6 inch x 6 inch pieces of Hardipanel claddings in texture and widths shown and specified herein.
 - 2. Submit three copies of specifications, installation data and other pertinent manufacture's literature.

1.3 QUALITY ASSURANCE

- A. Installer Qualifications: Engage an experienced installer who has completed siding installations similar in material, design, and extent to that indicated for Project that has resulted in construction with a record of successful in-service performance.
- B. Source Limitations for Siding and Accessories: Obtain each texture, pattern, and type of siding and related accessories from one source with resources to provide products of consistent quality in appearance and physical properties without delaying the Work.

1.4 DELIVERY, STORAGE, AND HANDLING

- A. Deliver materials to Project site in manufacturer's unopened packages or bundles with labels intact.
- B. Store materials in a dry, well-ventilated, weather tight place. Comply with manufacturers

written instructions for storage, handling, and protection.

1.5 PROJECT CONDITIONS

- A. Weather Limitations: Proceed with siding installation only if existing and forecasted weather conditions permit siding to be installed according to manufacturer's written instructions and if substrate is completely dry.

1.6 WARRANTY

- A. Provide James Hardie's limited product warranty against manufacturing defects in Hardipanel vertical siding for 50 years and Harditrim for 10 years.

1.7 EXTRA MATERIALS

- A. Furnish extra materials described below that match products installed, are packaged with protective covering for storage, and are identified with labels describing contents.
 - 1. Furnish full lengths of siding and trim in a quantity equal to 2 percent of amount installed (include optional trim if used).
 - 2. Store where directed by Owner for future use.

PART 2 – PRODUCT

2.1 FIBER CEMENT SIDING

- A. Manufacturers: Subject to compliance with requirements, provide products by James Hardie Building Products, Inc., or approved substitution. Siding to meet current building code requirements (BOCA, ICBO, SBCCI). Non-asbestos fiber cement siding to be non-combustible when tested
In accordance with ASTM test method E136 and comply with ASTM Standard Specification C1186 Grade II, Type A. Refer to drawings for locations of individual products.
- B. Fiber Cement Panels:
 - 1. Product: James Hardie, Hardipanel, Cedarmill Vertical Siding Panel
 - 2. Sizes: 4' x 8' x 5/16", 4' x 9' x 5/16", 4' x 10' x 5/16"
 - 3. Factory primed, field painted.
- C. Fiber Cement Trims
 - 1. Product:
 - a. James Hardie, Batten Boards smooth planks
 - b. Size: 3/4" x sized as required
 - c. Finish: Factory primed, field painted.
 - 2. Product
 - a. James Hardie, XLD Trim, smooth planks
 - b. Size: 1" thick x size as required
 - c. Finish: Factory primed, field painted.
- D. Reference Section 01630: Product Substitution Procedures.

2.2 ACCESSORIES

- A. Fasteners: Corrosion resistant fasteners, blind nailed, in sufficient length to penetrate a minimum of 1 1/4 inch into wood framing substrate.
- B. Flashing: Coordinate with requirements of Division 7 Section 07620.

2.3 FINISH

- A. Field paint as specified in Section 09900.
- B. Finish Hardipanel sidings coated by Prime Plus TM system with minimum one coat High quality, with 100% acrylic or latex oil based exterior grade paint with 180 days of Installation. Follow paint manufacturer's written product recommendation and written product recommendation.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates for compliance with requirements for substrates, installation tolerances and other conditions affecting performance of siding. Do not proceed with installation until unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Clean substrates of projections and substances detrimental to application.
- B. Coordinate installation with weather barrier, flashings and other adjoining construction.

3.3 INSTALLATION

- A. Fiber Cement Panels: Comply with manufacturer's written installation instructions applicable to products and applications indicated. **NOTE:** Locate vertical joints behind batten trim.
- B. Fiber Cement Trim: Comply with manufacturer's written installation instructions applicable to products and applications indicated.
- C. Fiber Cement Corner Trim: Comply with the manufacturer's written installation instructions applicable to products and applications indicated.
- D. Finish: Apply finish within manufacturer's recommended period of time after installation.
- E. Set siding in continuous bead of sealant at vertical joints. Vertical joints shall be not greater than 1/16-inch wide.
- F. Install flashing around all openings.
- G. Pneumatic nailing for Hardie installation. Contractor responsible for nail pop repair.
- H. Minor nail pop damage may occur during siding installation and the repair is the responsibility of the Contractor.
- I. Fasten through trim into structural framing or code complying sheathing. Fasteners must penetrate minimum 3/4 inch or full thickness of sheathing.

Additional fasteners may be required to ensure adequate security as per the Manufactures specifications.

- J. Maintain clearance between trim and adjacent finished grade.
- K. Trim inside corner with single board.
- L. Install single board of outside corner board then align second corner board to outside edge of first corner board. Do not fasten Harditrim board to Harditrim board.
- M. Allow 1/8 inch gap between trim and siding.
- N. Seal gap with high quality, paintable caulk.
- O. Shim frieze board as required to align with corner trim.
- P. Install Harditrim fascia over structural subfascia.
- Q. Block framing studs where Hardipanel siding horizontal joint occur.
- R. Place fasteners no closer than 3/8 inch from panel edges and 2 inches from panel corners.
- S. Allow minimum 1- inch vertical clearance between roofing and bottom edge of siding.
- T. Furr-out wall as needed for even wall finish.

-END-

Section 07620
Flashing and Sheet Metal

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Shop and field formed sheet metal flashing, counter flashing, deck flashing, pan flashing, door header flashing and associated metal trim.
- B. Related Sections:
 - 1. Section 07460 Fiber Cement Siding and Trim.
 - 2. Section 09900 Paints and Coatings

1.2 SUBMITTALS

- A. Product Data:
 - 1. Submit product data for factory produced items.
 - 2. Submit product data indicating performance and physical characteristics of sheet metal products, including thickness.
- B. Submit following Informational Submittals:
 - 1. Certifications specified in Quality Assurance article.
 - 2. Qualification Data: Fabricator's qualification data.
- C. Closeout Submittals:
 - 1. Warranty: Submit specified product warranty in accordance with Section 01780.

1.3 QUALITY ASSURANCE

- A. Fabricator's Qualifications: Company specializing in sheet metal flashing work with 3 years documented experience in similar size and type of installations.
- B. Certifications: Submit fabricator's certification that products furnished for Project meet or exceed specified requirements.

1.4 DELIVERY, STORAGE AND HANDLING

- A. Stack pre-formed material to prevent twisting, bending, and abrasions, and to provide ventilation.
- B. Prevent contact with materials, which may cause discoloration or staining.

1.5 WARRANTY

- A. Provide warranties in accordance with Section 01780.
- B. Warrant installed system to be free of leaks and free from defects in materials and workmanship for 2 years from date of Substantial Completion of project.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Galvanized Steel Sheet:
1. General: Zinc coating, hot dip galvanized, flattened sheets, and chemically treated.
 2. Commercial Quality: ASTM A653, G90.
 3. Lock-Forming Quality: ASTM A653, G90.
 4. Thickness: As indicated on Drawings, minimum, 24 gauge.
 5. Finish: Mill phosphatized where indicated for painting.

2.2 ACCESSORIES

- A. Fasteners:
1. Materials: Terne coated steel; AISI Series 300 for stainless and galvanized steel; aluminum for aluminum sheets.
 2. Nails: Use annular ring shank type, No. 12 gage or larger to suit application, of sufficient length to penetrate backing material at least 7/8 inch.
 3. Screws and Bolts: Sufficient size and length to sustain imposed stresses.
- B. Solder Materials:
1. Flux: Type as recommended by sheet material manufacturer; not detrimental to base material.
 2. Solder: ASTM B32, 50 percent tin/50 percent lead for galvanized steel.
- C. Asphalt Mastic: SSPC-Paint 12, solvent-type asphalt mastic, containing no asbestos fibers, compounded for 15 mil dry film thicknesses per coat.
- D. Sealants:
1. Silicone—General Purpose sealant specified in Section 07920.
 2. Color as selected by I.W.Bison from full range of manufacturer's standard colors.
- E. Weather Barrier Strips:
1. Rubberized asphalt and cross-laminated polyethylene conforming to Federal Specification UU-B-790a. Grade A.
 2. Sheet Widths: As required for application.
 3. Vycor V40 as manufactured by Grace Construction Products.

2.3 FABRICATION

- A. General:
1. Shop shall fabricate components to maximum extent possible to minimize site fabrication.
 2. Fabricate to allow for adjustments in field for proper anchoring and joining.
 3. Form sections true to shape, accurate in size, square, free from distortion and defects.
 4. Fabricate cleats and starter strips of same material as sheet, interlockable with sheet.
 5. Fabricate corners from one piece with minimum 18-inch long legs; solder for rigidity; seal with sealant.
 6. Solder
 - a. Solder and seal metal joints except those indicated or required to be expansive type joints.
 - b. After soldering, remove flux. Wipe and wash solder joints clean.

- B. Sheet Metal Thickness/Mass:
 - 1. Flashing: In accordance with SMACNA Chapter 4.
- C. Flashing and Counter Flashing:
 - 1. Fabricate as indicated on Drawings and in accordance with SMACNA Architectural Sheet Metal Manual, Chapter 4.
 - 2. Hem exposed flashings on underside 3/8 inch; miter and seam corners.
 - 3. Fabricate vertical faces with bottom edge formed outward 3/8 inch to form drip.
 - 4. Fabricate flashings to allow toe to extend minimum 2 inches over wall and trim surfaces, or as detailed on the Drawings.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine conditions prior to proceeding with work.
- B. Verify roof openings, curbs, pipes, sleeves, ducts, and vents through roof are solidly set, cant strips and reglets in place, and nailing strips located.
- C. Verify membrane termination and base flashings are in place, sealed, and secure.

3.2 PREPARATION

- A. Field measure site conditions prior to fabricating work.
- B. Install surface mounted reglets true to lines and levels. Seal top of reglets with sealant.
- C. All new sheet metal shall be fully etched and prime painted on all surfaces prior to installation.

3.3 INSTALLATION

- A. General:
 - 1. Install metal work in accordance with SMACNA.
 - 2. Install units plumb, level, square, and free from warp or twist while maintaining dimensional tolerances and alignment with surrounding construction.
 - 3. Apply asphalt mastic on metal surfaces of units in contact with cementitious materials and dissimilar metals.
 - 4. Fit flashings tight in place. Make corners square, surfaces true and straight in planes, and lines accurate to profiles.
 - 5. Miter, lap seam and close corner joints with solder. Seal seams and joints watertight.
 - 6. Install expansion joints at frequency recommended by SMACNA. Do not fasten seams such that movement is restricted.
 - 7. Coordinate with installation of roofing system and roof accessories.
 - 8. Provide self-adhesive neoprene under copper roofing on top of wood rafters.

3.4 CLEANING

- A. Upon completion of each area of soldering, carefully remove flux and other residue from surfaces. Neutralize acid flux by washing with washing soda solution, and then flushing clear water rinse. Use special care to neutralize and clean crevices.

-END -

**Section 07920
Joint Sealants**

PART 1 - GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Throughout the Work, seal and caulk joints where shown on the Drawings and elsewhere as required to provide a positive barrier against passage of moisture and passage of air.
- B. Related Sections:
 - 1. Section 07460 – Fiber Cement Siding.
 - 2. Section 07620 – Flashing and Sheet Metal.

1.2 QUALITY ASSURANCE

- A. Follow the specifications of the manufacturer and the Sealant and Waterproofers Institute (SWI).

1.3 DELIVERY, STORAGE, AND HANDLING

- A. Do not use sealant materials that have exceeded the shelf life of the materials as specified by the manufacturer.

1.4 WARRANTY

- A. Contractor warrants workmanship for a period of 12 months in accordance with the terms of the Contractor's written warranty. Materials are warranted in accordance with the manufacturers written warranty.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. The products selected shall meet the listed U.S. Federal Specification.
 - 1. Polysulfides:
 - a. Self-leveling, two part TT-S-00227E, Type I, Class A.
 - b. Self-leveling, one part TT-S-00230C, Type I, Class A..
 - 2. Urethanes:
 - a. Self-leveling, two part TT-S-00227E, Type I, Class A.
 - b. Self-leveling, one part, TT-S-00230C, Type I, Class A.
 - c. Multi-component, chemical curing, non-staining, and non-bleeding, ASTM C920, Type M, Class 25, Grade NS.
 - 3. Silicones: TT-S-001543A, Class A, and TT-S-00230C, Class A.
 - 4. Acrylic Latex: ASTM C-834-76.
 - 5. Butyl: TT-S-001657, TT-C-598C.
 - 6. Preformed fillers:
 - a. Preformed backer rods.
 - b. Preformed neoprene compression seals.
 - c. Preformed impregnated closed or open cell foamed sealant.
 - d. Preformed non-impregnated closed or open cell foamed sealant.

2.2 ACCEPTABLE MANUFACTURERS

- A. Provide sealants meeting the listed specifications and applications from these manufacturers.
 - 1. Tremco.
 - 2. Sonneborn.
 - 3. Dow Corning.
 - 4. Dap
 - 5. General Electric
 - 6. Approved substitution. Reference Section 01630: Product Substitution Procedures.

2.3 APPLICATION

- A. Exterior:
 - 1. Perimeters of exterior openings where frames meet exterior material, except sealant to be used with fiberboard siding as specified for fiber cement siding, below.
 - a. 25-year silicones.
 - 2. Control and expansion joints in exterior surfaces of unit masonry, coping joints and coping-to-facade joints, and horizontal surface joints.
 - a. Silicones.
 - b. 50% movement ability for expansion joints.
 - 3. External joints in horizontal wearing surfaces.
 - a. Two part, self-leveling polysulfides.
 - b. One or two part, self-leveling urethanes.
 - c. Preformed fillers.
 - d. 50% movement ability.
 - e. Gray color.
 - 4. External joints in fiber cement trimboards:
 - a. Back of trimboards: Urethane.
 - b. Front of trimboards: Urethane.
 - c. Joint movement range without cohesive/adhesive failure: Plus 25 percent to minus 25 percent of joint width.
 - d. Color as selected by Architect.

2.4 PERFORMANCE REQUIREMENTS

- A. Colors: As selected by I.W. Bison from manufacturers' standard color chart.
- B. Sealant primer: Suitable to substrate surfaces as recommended by the sealant manufacturer.
- C. Joint backing: Preformed polyethylene foam, urethane foam, or butyl as recommended by the sealant manufacturer. Backing shall be of sizes and shapes to suit the various conditions and shall be compatible with sealant, primers, and substrates.
- D. Bond breaker: As recommended by the sealant manufacturer.
- E. Cleaning agent: As recommended by the sealant manufacturer.

PART 3 - EXECUTION

3.1 JOB CONDITIONS

- A. Remove all foreign substances from all surfaces of joints.
- B. All known detrimental conditions to proper joint sealing shall be reported immediately in writing to Owner and Architect for correction.

- C. Do not proceed with installation of sealants under adverse weather conditions, when joint to be sealed is damp, wet, or frozen, or when temperatures are beyond the manufacturer's recommended limitations for installation. Consult the manufacturer for specific instructions before proceeding.

3.2 PREPARATION OF SURFACES

- A. Primer: Thoroughly clean joints and apply primer, if recommended by sealant manufacturer, to dry surfaces. Apply primer prior to application of joint backing, a bond breaker or sealants.
- B. Joint Backing: In joints where the depth of the joint exceeds the required depth of the sealant, install joint backing to provide backing and uniform depth of sealant. Joint backing shall be installed with approximately 30% compression. Do not stretch, twist, puncture or tear joint backing. Butt joint backing at intersections.
- C. Bond breaker tape: Install bond breaker tape smoothly at back of joint where joint backing is not required or cannot be installed. (Sealant shall adhere only to the sides and not to the back of the joint so as to eliminate three-sided adhesion).
- D. Thoroughly clean joints and surfaces to be caulked.

3.3 INSTALLATION

- A. Mixing and application of sealing compounds shall be in accordance with the manufacturer's directions.
- B. Apply sealant in accordance with manufacturer's application manual and instructions.
- C. Tool joints to form smooth, uniform beads with slightly concave surfaces.
- D. Thoroughly and completely mask joints where the appearance of primer or sealant on adjacent surfaces would be objectionable. Remove masking immediately after tooling.

3.4 CLEANING

- A. Clean off excess compound or smears with cleaning material recommended by the manufacturer.

-END-

**Section 09900
Paints and Coatings**

PART 1 – GENERAL

1.1 SUMMARY

- A. Section Includes:
 - 1. Preparation of new and existing surfaces to receive paint or coatings.
 - 2. Application of scheduled paints and coatings.

- B. Related Sections:
 - 1. Section 06200 – Finish Carpentry
 - 2. Section 07460 – Fiber Cement Siding
 - 3. Section 07600 – Flashing and Sheet Metal

1.2 SUBMITTALS

- A. Color Charts: Submit manufacturer's standard color chips and charts for use in preparation of Color Schedule.
 - 1. Submit 8x10 brush-out samples of selected colors and sheens for approval.

1.3 QUALITY ASSURANCE

- A. Regulatory Requirements: Comply with CPSC 16 CFR 1303 and other applicable federal, state, and local regulations limiting lead content of paints to be applied.

1.4 PROJECT CONDITIONS

- A. Comply with manufacturer's requirements under which systems can be stored and applied.
 - 1. Take precautionary measures to prevent fire hazards and spontaneous combustion.

1.5 WARRANTY

- A. Special Warranty: Prepare and submit in accordance with Section 01740.
 - 1. Warrant installation to be free from defects in material and workmanship for five years.
 - 2. Repair or replace defects occurring during warranty period.
 - 3. Defects include but not limited to pinholes, crazing or cracking, loss of adhesion to substrate, deficient thickness, improper materials and workmanship.

1.6 EXTRA STOCK MATERIAL

- A. Furnish under provisions of Section 01780.

- B. Provide 1, five-gallon container of each type of opaque top coating in each color and sheen used on Project.

- C. Store where directed by Owner with labels intact.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Acceptable National Manufacturers:
 - 1. Kelly Moore
 - 2. Substitution subject to approval of Owner and Gerald Stater & Company. Reference Section 01630: Product Substitution Procedure
- B. Listing of products by manufacturer's trade name is not intended to exclude equivalent products by other manufacturers. For products not specifically named, submit substitution request.

2.2 COATING MATERIALS – GENERAL

- A. Coatings:
 - 1. Ready-mixed, factory tinted, best professional grade produced by manufacturer.
 - 2. Fully grind pigments to maintain soft paste consistency in vehicle.
 - 3. Capable of being dispersed into uniform, homogeneous mixture.
 - 4. Possess good flowing and brushing properties.
 - 5. Capable of drying or curing free of streaks or sags, and yielding specified finish.
 - 6. VOC content of field-applied coatings shall not exceed following limits after thinning. Values listed in pounds per gallon.
 - 7. Architectural Coatings: 2.1.
 - 8. Industrial Maintenance Primers and Topcoats: 3.5.
 - 9. Metallic Pigmented Coatings (Zinc Rich): 4.17.

2.3 ACCESSORY MATERIALS

- A. Muriatic acid, mildewcide, TSP (tri-sodium phosphate), acidic-detergent, zinc sulfate, sodium metasilicate, and solvent: Commercially available, non-damaging to surface being cleaned, as specified in PDCA Specification Manual: acceptable to coating manufacturer.

2.4 MIXING

- A. Use factory prepared colors matching approved samples. Site tinting not allowed.
 - 1. Thoroughly mix and stir paints before use to ensure homogeneous dispersion of ingredients.
 - 2. Apply coats of consistency recommended by manufacturer. Thin only within recommended limits using thinners approved by paint manufacturer.

2.5 COLORS AND FINISHES

- A. Colors and sheen as indicated or as selected by Owner and Gerald Stater & company.

PART 3 – EXECUTION

3.1 EXAMINATION AND PREPARATION

- A. Examination: Measure moisture content of substrates using recently calibrated electronic moisture meter. Do not apply paints if moisture content of surfaces exceeds lesser of percentages listed below or those required by paint manufacturer.

- B. Preparation: Remove surface hardware, mechanical diffusers, escutcheons, registers, electrical plates, light fixture trim, fittings, fastenings and similar items prior to preparing surfaces for finishing. Provide surface-applied protective masking for non-removable items. Carefully store removed items for reinstallation.
 - 1. Prior to application of paints, ensure surfaces are clean, dry, and free of dirt, dust, rust or rust scale, oil, grease, mold, mildew, alga, efflorescence, release agents, and other foreign material, which could adversely affect paint adhesion and finished appearance.
 - 2. Previously Coated Surfaces: Test compatibility of existing coatings by applying new paint to small, inconspicuous area. If new paints lift or blister existing coatings, request recommendation from Architect.

3.2 APPLICATION

- A. Paints: Apply products in accordance with manufacturer's instructions. Use application materials, equipment, and techniques as recommended by paint manufacturer and best suited for substrate and type of material being applied.
 - 1. Apply materials at not less than manufacturer's instructions. Use application materials, equipment, and techniques as recommended by paint manufacturer and best suited for substrate and type of material being applied.
 - 2. Ensure that edges, corners, crevices, and exposed fasteners receive dry film thickness equivalent of flat surfaces.
 - 3. Finish edges of paints adjoining other materials and colors sharp and clean, without overlapping.

3.3 CLEANING AND PROTECTION

- A. Cleaning: Promptly remove spilled, splashed, or spattered paints. Clean spots, oil, and other soiling from finished surfaces using cleaning agents and methods, which will not damage materials.
- B. If completed construction is damaged beyond normal cleaning or repair by painting operations, replace damaged items at no additional cost to Owner.
- C. Protection: Protect work of other trades against damage from painting activities. Correct damage by cleaning, repairing, replacing, and repainting as acceptable. Provide "WET PAINT" signs and other methods to protect newly coated surfaces. Remove when directed or when no longer needed.

3.4 FINISH COATINGS SCHEDULE

- A. Prime bare or new wood not previously primed
- B. Coating System
 - 1. Prime Coat: 255 Acry Shield 100% Acrylic Exterior Wood Primer
 - 2. 2nd Coat: 1245 Acry Shield 100% Acrylic Exterior Low Sheen Paint

3.5 MAINTENANCE

- A. Paint has limited life expectancies and should be periodically reapplied pursuant to manufacturer's recommendations. All painted surfaces should be periodically inspected for failures and reapplied as necessary. Inspection should be routinely done on an annual basis. Maintenance beyond warranty periods shall be the responsibility of the Owner.

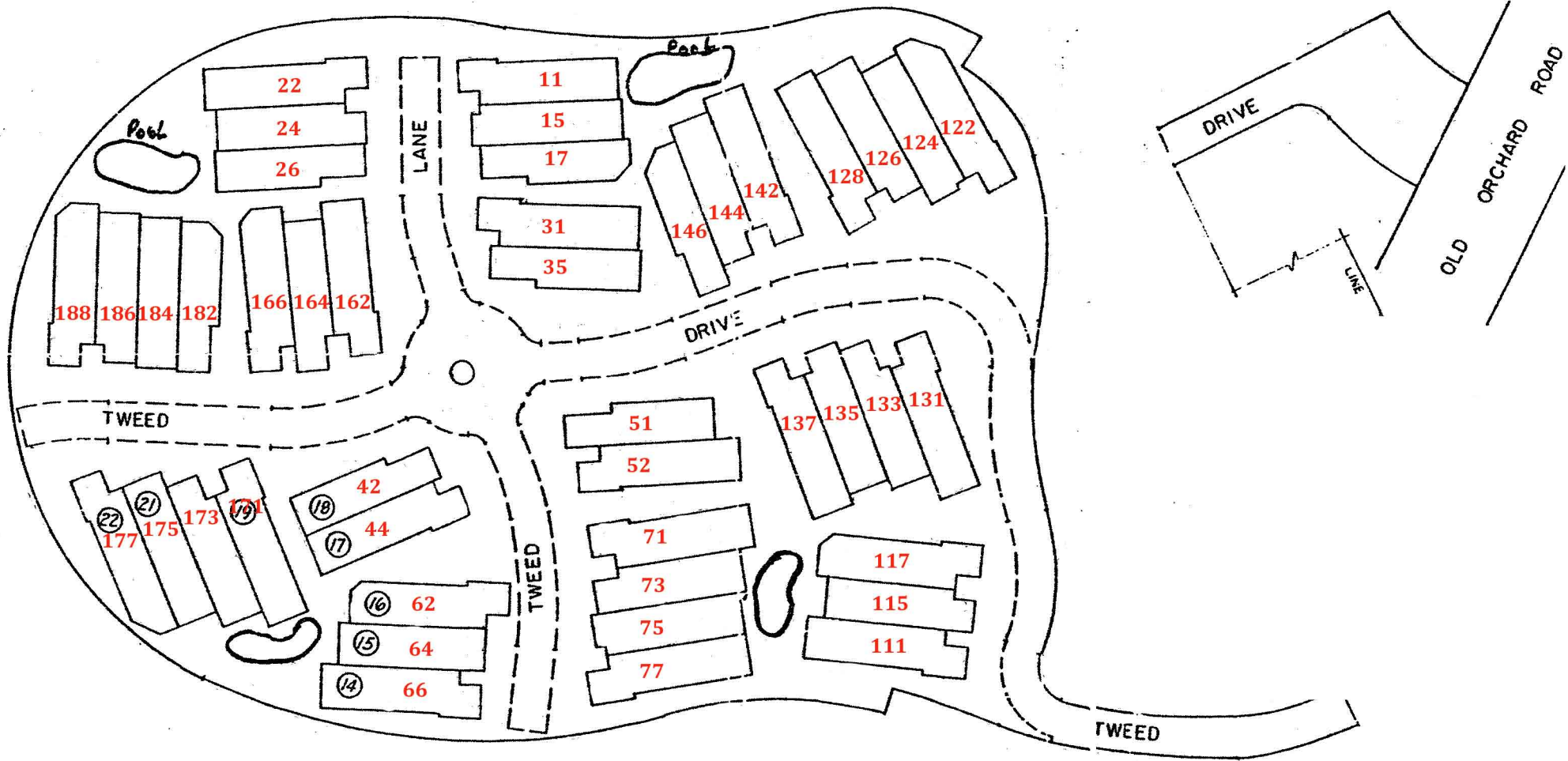
-END-

Section 09999
Material List and Notes

PART 1 - GENERAL

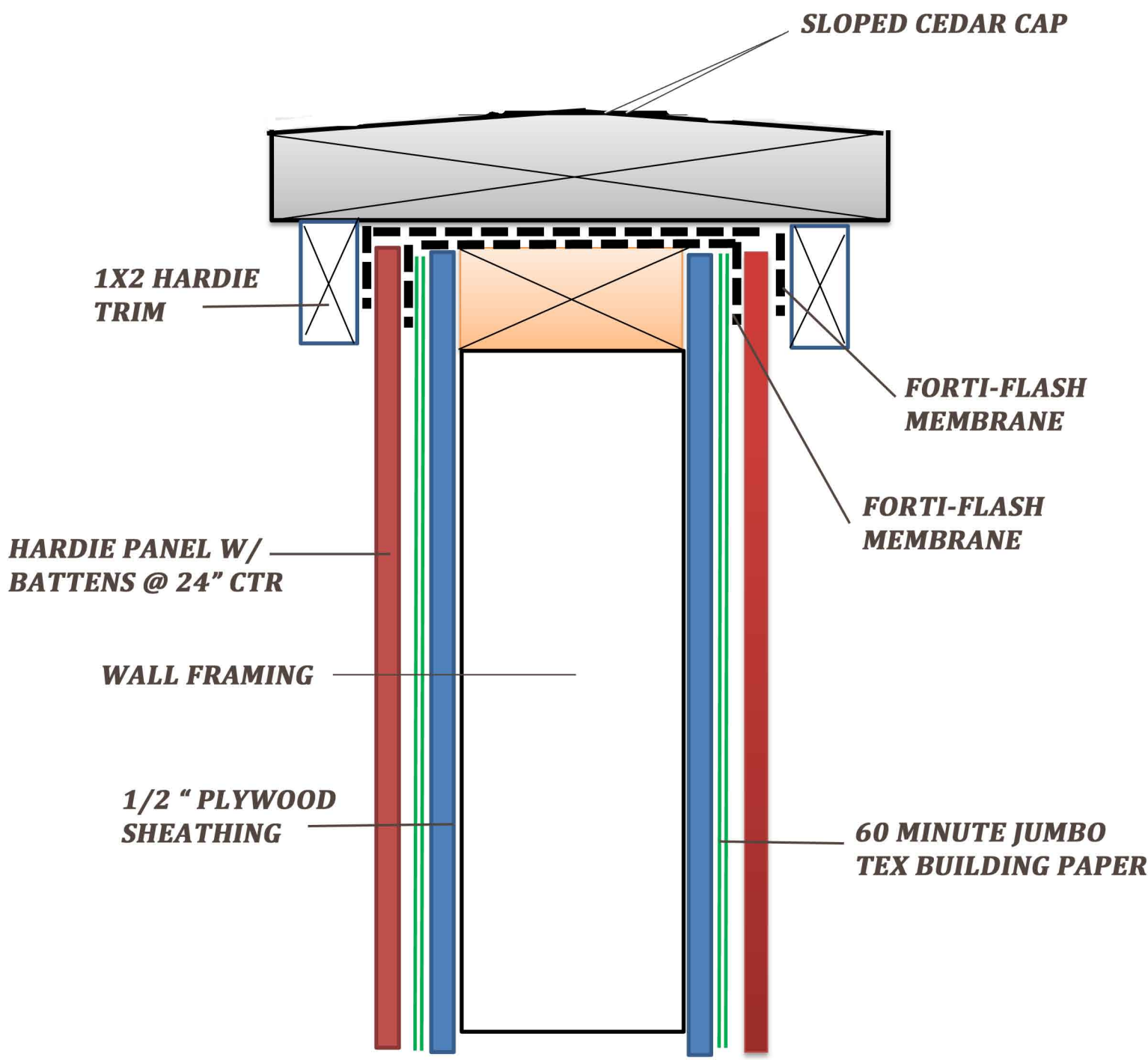
- A. **Building Paper:** Super Jumbo Tex 60 minute, Grade D, by Fortibiber Corp. See Specification.
- B. **Flashing Paper:** Moistop-Flashing 40 mil paper by Fortibiber Corp. or Polyflash paper by Salinas Valley Wax Paper Co. Inc.
- C. **Railing Cap, Fascia:** Shall be Kiln Dried TK Cedar.
- D. **Miscellaneous Framing Materials, Studs, Blocking, Sheathing, Joists, Etc.:** Shall be per original plans or better, unless otherwise shown or noted on drawings. All lumber in contact with the ground or roof shall be pressure treated Douglas Fir (PTDF), ACQ .40 pcf content, No. 1 structural grade. Each piece shall be tagged/stamped with manufacturer's information including but not limited to the mill, species, grade, preservative level of treatment and year treated, inspection agency, etc. Treat all cut ends by soaking in copper naphthenate (2%) per manufacturer's recommendations. Use oil-based primer and paint per manufacturer's recommendations. Comply with the following standards: AWPA Standard U1 and NER Report No. NER-643.
- E. **Connectors, Post Bases, Framing Hardware, Fasteners, Bolt, Etc.:** Provide new Simpson hardware where required. See Plans for sizes and types. Install per manufacturers instructions.
- F. **Plywood Sheathing:** 1/2" exterior grade, CDX or better.
- G. **Post Hold Down Bracket:** Shall be HD5 galvanized 16 gauge steel as manufactured by Simpson Co. or approved equivalent.

- END -



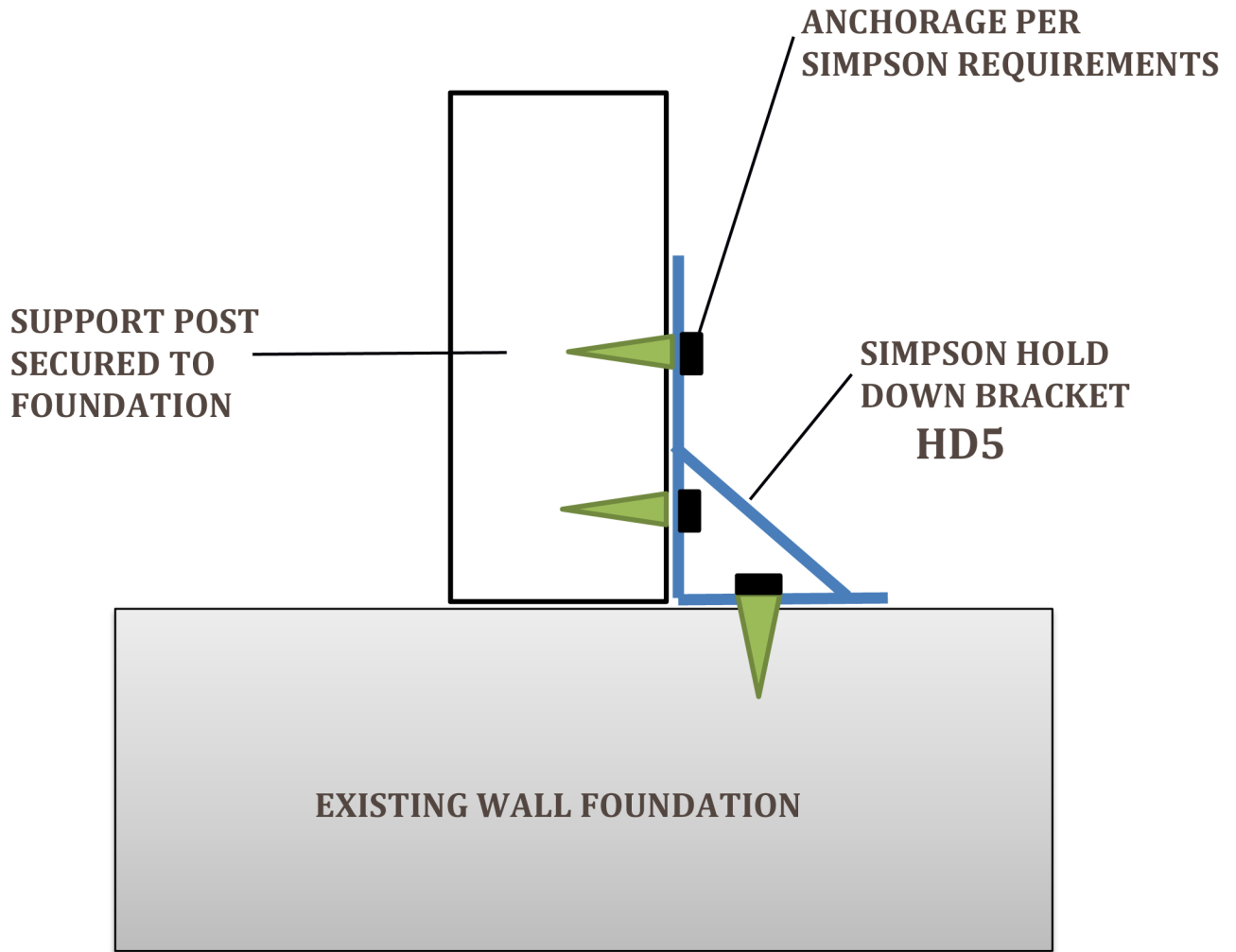
**SYCAMORE GLEN
HOMEOWNERS ASSOCIATION**

SD-1



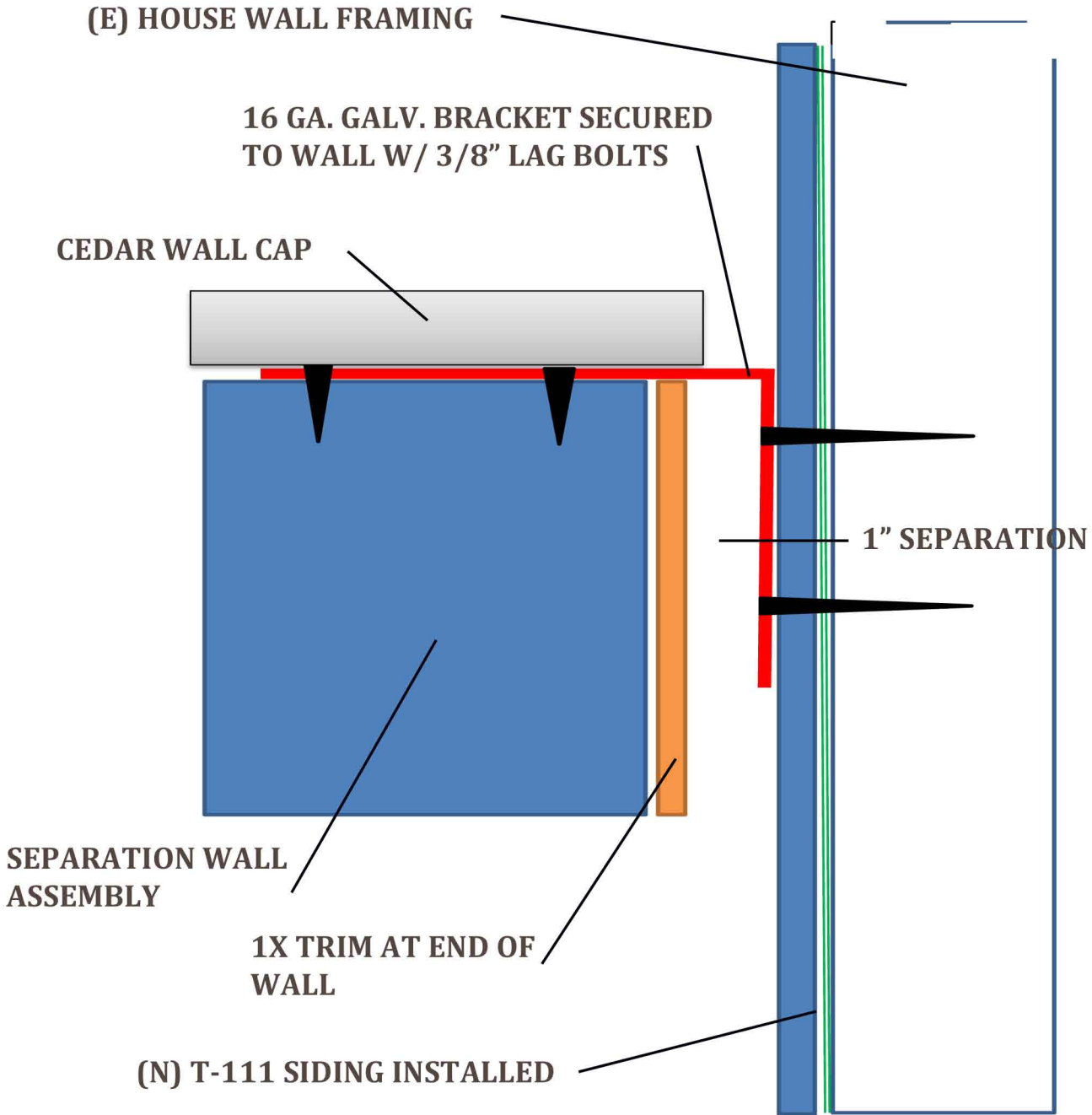
SPEARATION WALL DETAIL - HARDIE PANEL

D1



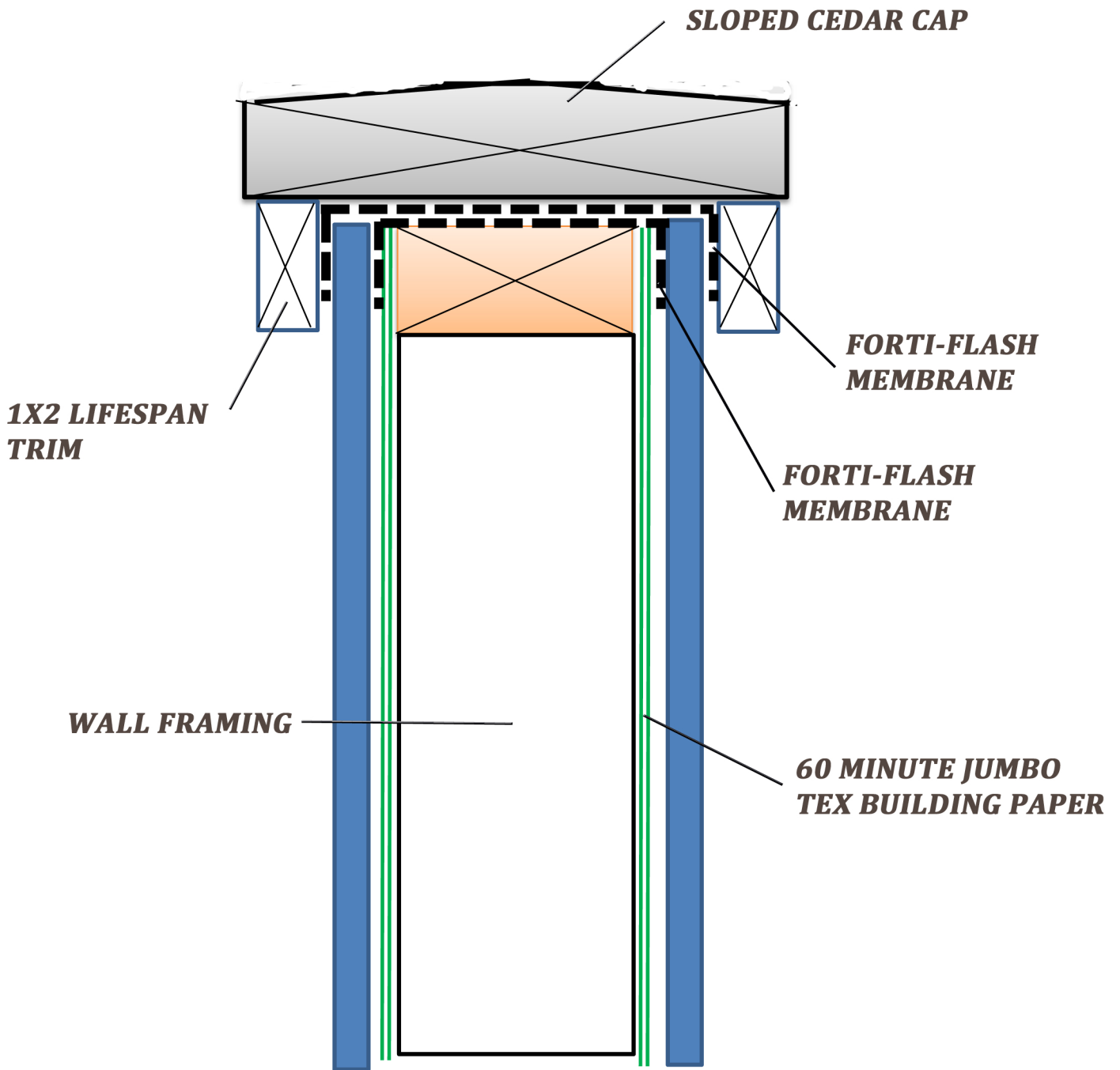
WALL POST TIE DOWN DETAIL

D2



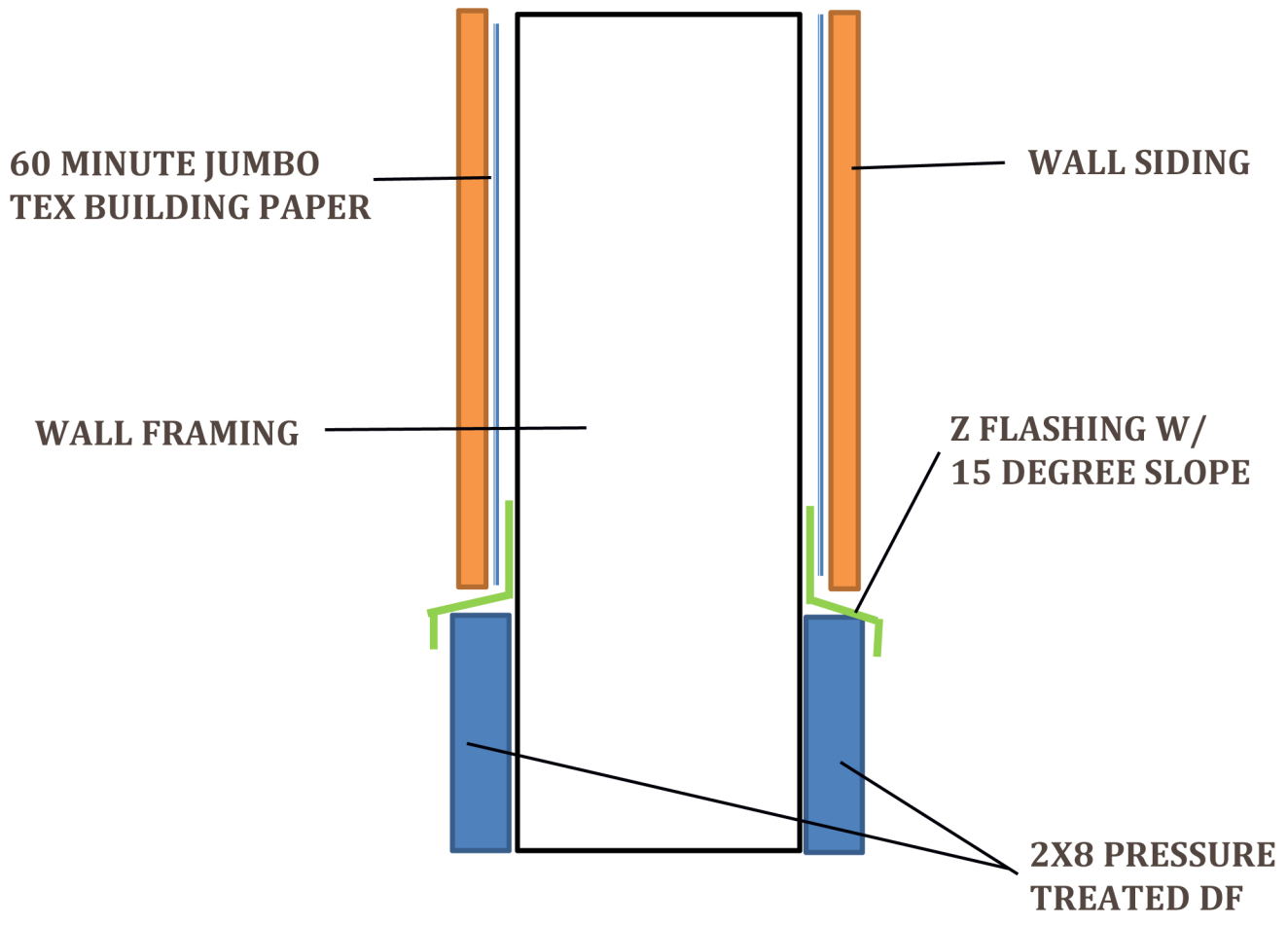
SPEARATION WALL CLEARANCE DETAIL

D3



SPEARATION WALL DETAIL - T-111 PANEL

D4



TYPE 2 WALL BASE TRIM DETAIL

D5

SYCAMORE GLEN - REAR SEPARATION WALLS

| | BASE BID | WALL TYPE | END WALL | | | | | | LENGTH | FRAMING | SIDING | CAP | POSTS | FOOT |
|--------------|----------|-----------|----------|---------|--------|-----|-------|------|--------|---------|--------|-----|-------|------|
| | | | LENGTH | FRAMING | SIDING | CAP | POSTS | FOOT | | | | | | |
| Quad 2 | | | | | | | | | | | | | | |
| Unit 11 | | TYPE 1 | 18 | C | STUCCO | C | C | Y | | | | | | |
| Unit 11/15 | 1 | TYPE 1 | | | | | | | 18 | C | STUCCO | D | C | Y |
| Unit 15/17 | | TYPE 1 | | | | | | | 18 | C | STUCCO | C | C | Y |
| Unit 17 | | TYPE 1 | 18 | C | STUCCO | C | C | Y | | | | | | |
| Unit 31 | 1 | TYPE 1 | 18 | C | STUCCO | F | C | Y | | | | | | |
| Unit 31/35 | 1 | TYPE 1 | | | | | | | 18 | C | STUCCO | D | C | Y |
| Unit 35 | 1 | TYPE 1 | 18 | F | F | F | F | Y | | | | | | |
| Unit 122 | 2 | TYPE 1 | 16 | C | D | D | C | Y | | | | | | |
| Unit 122/124 | 1 | TYPE 1 | | | | | | | 18 | F | F | F | F | Y |
| Unit 124/126 | 1 | TYPE 1 | | | | | | | 18 | F | F | F | F | Y |
| Unit 126/128 | 1 | TYPE 1 | | | | | | | 18 | D | F | F | F | Y |
| Unit 128 | 1 | TYPE 1 | 18 | F | F | F | F | Y | | | | | | |
| Unit 142 | 1 | TYPE 1 | 18 | C | C | F | C | Y | | | | | | |
| Quad 3 | | | | | | | | | | | | | | |
| Unit 42 | 3 | TYPE 1 | 18 | C | D | C | C | Y | | | | | | |
| Unit 42/44 | 1 | TYPE 1 | | | | | | | 18 | F | F | F | F | Y |
| Unit 44 | 2 | TYPE 1 | 18 | F | F | F | F | Y | | | | | | |
| Quad 4 | | | | | | | | | | | | | | |
| Unit 22 | 3 | TYPE 2 | 18 | F | F | F | F | N | | | | | | |
| Unit 22/24 | 3 | TYPE 2 | | | | | | | 18 | D | D | D | C | N |
| Unit 24/26 | 3 | TYPE 2 | | | | | | | 19 | D | D | D | C | N |
| Unit 26 | | TYPE 1 | 18 | B | B | B | B | Y | | | | | | |
| Unit 162 | 2 | TYPE 2 | 18 | F | F | F | F | N | | | | | | |
| Unit 162/164 | 3 | TYPE 2 | | | | | | | 8 | C | D | D | C | N |
| Unit 164/166 | 3 | TYPE 2 | | | | | | | 18 | C | D | D | C | N |
| Unit 166 | 2 | TYPE 2 | 18 | F | F | F | F | N | | | | | | |
| Unit 182 | 2 | TYPE 2 | 18 | F | F | F | C | N | | | | | | |
| Unit 182/184 | 2 | TYPE 2 | | | | | | | 18 | F | F | F | F | N |
| Unit 184/186 | 2 | TYPE 2 | | | | | | | 18 | F | F | F | F | N |
| Unit 186/188 | 2 | TYPE 2 | | | | | | | 18 | C | F | F | C | N |
| Unit 188 | | TYPE 2 | 18 | C | C | C | C | N | | | | | | |