

**VINTNER HOA**  
**2012 Repair/Renovation Project**

**HOMEOWNER'S INFORMATIONAL MEETING # 1**

**May 22, 2012**

Presented By: Willis Management Group  
Gerald Stater & Company

# VINTNER HOMEOWNERS ASSOCIATION



Imagery Date: Oct 2, 2009

37°43'33.07" N 121°56'09.10" W elev 375 ft

Eye alt 1585 ft

# YOUR ASSOCIATION TEAM

- Board of Directors

Barbara Werther	-	President
Veronica Parker	-	Vice President
Rodney Lancaster	-	Secretary
Jamie Wray	-	Treasurer
Catherine Howe	-	Director

- Property Management

Willis Management Group, Inc. –	Chris Willis
	Helen Ness

- Construction Manager

Gerald Stater & Company Inc. –	Jerry Stater
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- ***Every Homeowner at the Vintner***

# GERALD STATER & CO.

- GRADUATE MECHANICAL ENGINEER
- CERTIFIED ENERGY CONSULTANT
- 40+ YEARS OF CONSTRUCTION EXPERIENCE
- 15+ YEARS OF HOA CONSTRUCTION MANAGEMENT EXPERIENCE
- INVOLVED FROM SITE INSPECTIONS, SPECIFICATIONS, BIDDING PROCESS THRU THE COMPLETION AT THE **VINTNER**

# **ASSOCIATION'S OBLIGATIONS**

- **THE ASSOCIATION HAS AN OBLIGATION TO PERFORM ALL ADEQUATE REPAIRS.**
- **THE BOARD MUST PLAN FOR AND MANAGE SUCH REPAIRS.**
- **REPAIRS NOT PERFORMED MUST BE DISCLOSED TO POTENTIAL BUYERS AND LENDERS.**
- **HOMEOWNERS MAY HAVE THE RIGHT OF FORCE THE ASSOCIATION TO MAKE CERTAIN REPAIRS.**

# VINTNER HOMEOWNERS ASSOCIATION

**PARTIAL OWNER**

**\$ 21,000,000.00 INVESTMENT**



# **SITE INSPECTION & EVALUATION**

- **REVIEWED PRIOR EXPERT FINDINGS**

**STRUCTURAL BALCONY REPORT** – January, 2009

54 BALCONIES INSPECTED

**ROOFING REPORT** – February, 2010

ALL ROOFS INSPECTED

**SIDING/TRIM EVALUATION SUMMARY** – August, 2010

ALL SIDING AND TRIM INSPECTED

# SITE INSPECTION & EVALUATION

- REVIEWED PRIOR EXPERT FINDINGS
- VISUALLY REVIEWED ALL MAJOR SITE COMPONENTS
- REVIEWED CURRENT RESERVE DOCUMENTS
- REVISED THE RESERVE STUDY TO REFLECT CURRENT MAINTENANCE PLAN
- DEVELOPED SCOPE OF REPAIRS FOR EACH OF THE SPECIFIC SCOPES OF CONSTRUCTION
- DEVELOPED A ESTIMATED BUDGET BASED ON THE SCOPE OF REPAIRS
- DEVELOPED PRELIMINARY CASH FLOW REQUIREMENTS
- DEVELOPED PRELIMINARY PROJECT SCHEDULE



# MAJOR RENOVATION INCLUDES

- BALCONIES & RAILINGS RENOVATION
- ROOFING RENOVATION
- GUTTERS & DOWNSPOUTS
- SIDING & TRIM RENOVATION
- CARPORT RENOVATION
- PATIO FENCING RENOVATION
- ASPHALT DRIVEWAY RENOVATION
- POOL FENCING & POOL DECKS
- TRELLIS & VISION SCREEN RENOVATION

# ADDITIONAL RESERVE ITEMS

- LIGHTING – BUILDING EXTERIORS
- LIGHTING – CARPORTS
- LATTICE – CARPORTS
- LANDSCAPE IMPROVEMENTS – DRAINAGE & PLANTINGS
- CONCRETE DRIVE WAYS
- LAUNDRY ROOMS AND MAILROOMS
- TREE REPLACEMENT

# **REVIEW CURRENT MAJOR COMPONENTS – PHASE 1**

# BALCONY RENOVATION



# BALCONY RENOVATION



# BALCONY RENOVATION



# ROOF RENOVATION



# ROOF RENOVATION





# SIDING RENOVATION



# SIDING RENOVATION



# SIDING RENOVATION



# WINDOW TRIM RENOVATION



# WINDOW TRIM REPLACEMENT



# FIRE PLACE SIDING & TOPS



# EARTH TO WOOD REMOVAL



# UTILITY DOOR RENO





# PATIO FENCING RENOVATION



# POOL DECK & FENCING RENOVATION



# CARPORT RENOVATION



# CARPORT RENOVATION



# ASPHALT DRIVEWAY RENOVATION



# ASPHALT DRIVEWAY RENOVATION



# REPAIR/RENOVATION PROJECT ESTIMATED BUDGET

• BALCONY RENOVATION	\$ 600,000.00
• ROOF RENOVATION	\$ 700,000.00
• SIDING/TRIM RENOVATION	\$ 700,000.00
• CARPORT RENOVATION	\$ 225,000.00
• FENCE RENOVATION	\$ 95,000.00
• PAINTING	\$ 245,000.00
• GUTTERS & DOWNSPOUTS	\$ 100,000.00
• ASPHALT RENOVATION	\$ 128,000.00
• POOL DECK RENOVATION	\$ 95,000.00
• CLUBHOUSE RENOVATION	\$ 95,000.00
<b>SUB-TOTAL ESTIMATED BUDGET</b>	<b>\$ 2,983,000.00</b>

# ADDITIONAL RESERVE COMPONENTS ESTIMATED BUDGET

• LIGHTING – BUILDING EXTERIORS	\$ 24,856.00
• LIGHTING - CARPORTS	\$ 40,000.00
• LATTICE - CARPORTS	\$ 33,000.00
• LANDSCAPE RENOVATIONS	\$ 50,000.00
• TREE TRIMMING/REPLACEMENT	\$ 25,625.00
• CONCRETE - DRIVES	\$ 17,490.00
• TRELLIS RENOVATION	\$ 27,000.00
• LAUNDRY ROOMS AND MAIL ROOMS	\$ 27,000.00
<b>SUB-TOTAL ESTIMATED BUDGET</b>	<b>\$ 217,971.00</b>
<b>TOTAL ESTIMATED BUDGET</b>	<b>\$3,200,971.00</b>



# **PROJECT DEVELOPMENT PHASE 2**

# PROJECT DEVELOPMENT

- DEVELOPED SPECIFICATIONS FOR ALL MAJOR SCOPES OF CONSTRUCTION.
- SELECTED MATERIALS & CONSTRUCTION METHODS THAT **LOWER FUTURE MAINTENANCE COST.**
- BIDDING PROCESS WITH 4-5 CONTRACTORS FOR EACH OF THE MAJOR REPAIRS.
- COMPLETED PRELIMINARY LOAN APPROVAL PROCESS.
- **VALUE** ENGINEERING WITH EACH OF THE CONTRACTORS.
- ALL EXTERIOR SURFACES TESTED FOR **LEAD – NEGATIVE.**
- REVIEWED THE CITY OF SAN RAMON REQUIREMENTS.

# WHY DO IT NOW?

- EXTREMELY LOW INTEREST RATES
- A COMPETITIVE CONSTRUCTION MARKET PLACE
- ABLE TO BUNDLE EVERYTHING INTO A SINGLE PROJECT
- TAKE CONTROL OF THE OUR MAINTENANCE REPAIR CYCLE
- NO MAJOR EXPENSES FOR NEXT 15 YEARS (EXCEPT PAINTING)
- MAKE A DRAMATIC IMPROVEMENT IN OUR APPEARANCE AND FUTURE MAINTENANCE COSTS
- HIGHER PROPERTY VALUES IN FUTURE

**MATERIAL SELECTIONS  
&  
CONSTRUCTION METHODS  
PHASE**



# EXTERIOR SIDING



The Best Products For Multifamily Developments

# EXTERIOR SIDING

- RESIST FUNGAL DECAY AND TERMITE DAMAGE.
- PRE-PRIMED FOR GOOD PAINT ADHESION.
- STRUCTURALLY RATED PANEL, CAN BE APPLIED DIRECTLY TO THE WALL FRAMING.
- LOWER FUTURE MAINTENANCE COST.
- NEW INDUSTRY STANDARD FOR WOOD SIDING.
- 5/50 YEAR LIMITED WARRANTY PROVIDING A 5 YEAR 100% LABOR AND REPLACEMENT WARRANTY AND A 50 YEAR WARRANTY ON THE PRODUCT.

# METHODS & MATERIALS

## Precision Series

### Unconditional Quality

LP's Precision Series offers the most durable wood composite lap siding in the market today and structurally rated panels that can typically be applied directly to stud.

### Lap

#### The Natural Look Of Cedar Without The Cost

- One of the most durable lap siding options in the market today
- 16' length results in faster installation
- Up to 33% fewer seams than traditional 12' siding
- Pre-primed for exceptional paint adhesion
- Self-aligning SmartLock™ option installs faster and more efficient
- Available in strand substrate

LP® SMARTSIDE™ 76 SERIES LAP SIDING



LP SMARTSIDE 38 SERIES LAP SIDING



LP SMARTSIDE 76 SERIES SMARTLOCK LAP SIDING



TEXTURE	LENGTH	ACTUAL WIDTH	ACTUAL THICKNESS
CEDAR	16 FT. (192 IN.) (4877 MM)	5.84 IN. (149 MM)	0.315 IN. (8 MM) OR 0.375 IN. (9.5 MM)
	16 FT. (192 IN.) (4877 MM)	7.84 IN. (199 MM)	0.315 IN. (8 MM) OR 0.375 IN. (9.5 MM)
	16 FT. (192 IN.) (4877 MM)	11.84 IN. (302 MM)	0.315 IN. (8 MM) OR 0.375 IN. (9.5 MM)
SMARTLOCK CEDAR	16 FT. (192 IN.) (4877 MM)	7.84 IN. (199 MM)	0.375 IN. (9.5 MM)



### Panel

#### A Panel So Strong It's Rated For Structural Use By The Engineered Wood Association

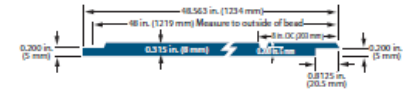
- Shiplap edge with advanced bead system for easier alignment
- Pre-primed for exceptional paint adhesion
- Significantly lighter than comparable fiber cement panel
- Strong enough to be nailed directly to stud, making additional sheathing unnecessary in many applications
- Eliminates need for additional bracing on load-bearing walls
- Ideal exterior for homes in areas of high winds or seismic activity
- Available in strand substrate



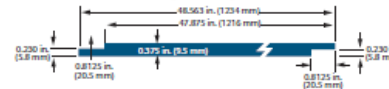
LP SMARTSIDE 38 SERIES PANEL (NO GROOVE)



LP SMARTSIDE 38 SERIES PANEL 8 IN. O.C.



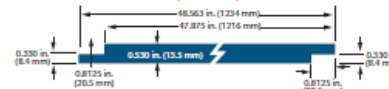
LP SMARTSIDE 76 SERIES PANEL (NO GROOVE)



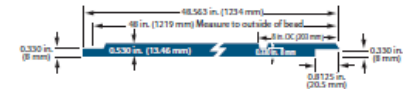
LP SMARTSIDE 76 SERIES PANEL 4 IN. & 8 IN. O.C.



LP SMARTSIDE 190 SERIES PANEL (NO GROOVE)



LP SMARTSIDE 190 SERIES PANEL 8 IN. O.C.



TEXTURE	LENGTH	GROOVE	GROOVE WIDTH	ACTUAL WIDTH	ACTUAL THICKNESS
CEDAR	8 FT. (96 IN.) (2438 MM)	NO GROOVE	N/A	48.569 IN. (1234 MM)	0.315 IN. (8 MM), 0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	9 FT. (108 IN.) (2743 MM)	NO GROOVE	N/A	48.569 IN. (1234 MM)	0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	10 FT. (120 IN.) (3048 MM)	NO GROOVE	N/A	48.569 IN. (1234 MM)	0.315 IN. (8 MM), 0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	12 FT. (144 IN.) (3657 MM)	NO GROOVE	N/A	48.569 IN. (1234 MM)	0.315 IN. (8 MM)
SMARTLOCK CEDAR	8 FT. (96 IN.) (2438 MM)	4 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	9 FT. (108 IN.) (2743 MM)	4 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	10 FT. (120 IN.) (3048 MM)	4 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	6 FT. (72 IN.) (1829 MM)	8 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.315 IN. (8 MM) OR 0.375 IN. (9.5 MM)
	7 FT. (84 IN.) (2134 MM)	8 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.315 IN. (8 MM) OR 0.375 IN. (9.5 MM)
	8 FT. (96 IN.) (2438 MM)	8 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.315 IN. (8 MM), 0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	9 FT. (108 IN.) (2743 MM)	8 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.315 IN. (8 MM), 0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)
	10 FT. (120 IN.) (3048 MM)	8 IN. O.C.	3/8 IN. (13 MM)	48.569 IN. (1234 MM)	0.315 IN. (8 MM), 0.375 IN. (9.5 MM) OR 0.530 IN. (13.46 MM)

LP SMARTSIDE SMOOTH PANEL FOR CARRARA STUCCO USE ONLY



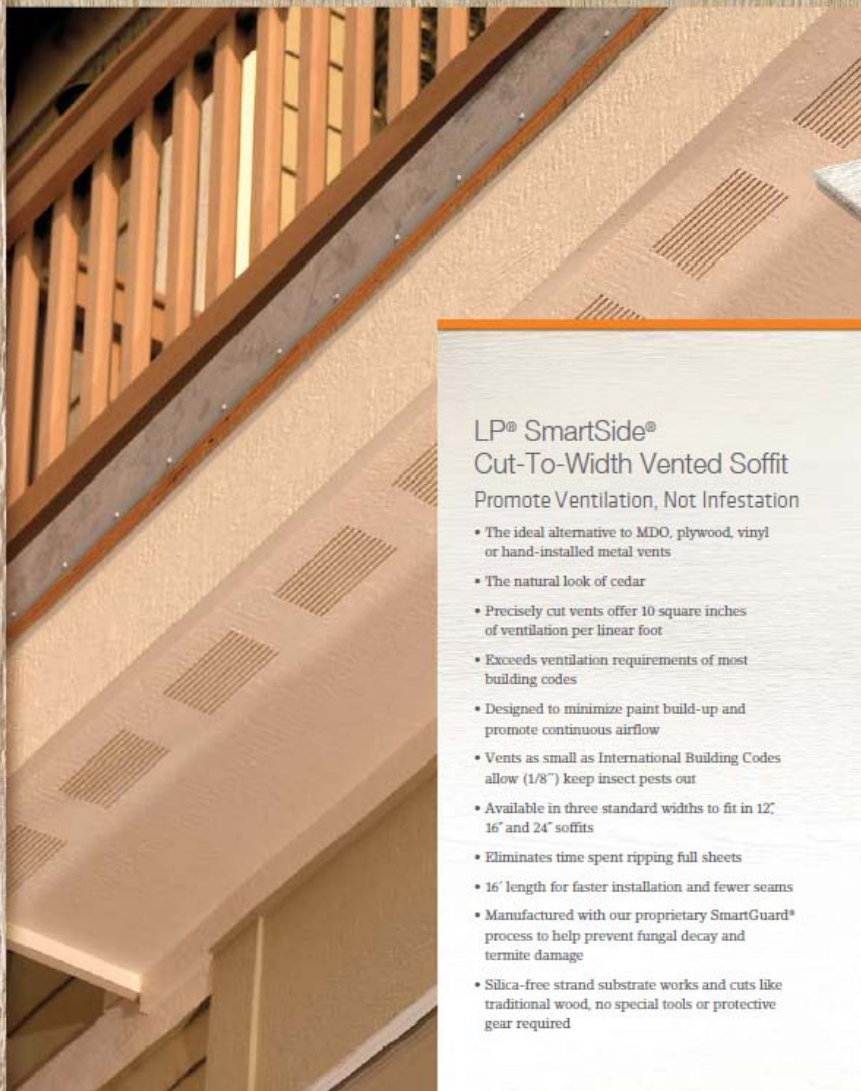
DISCLAIMER: THIS PRODUCT MUST BE USED WITH CARRARA STUCCO SYSTEM

LENGTH	GROOVE	ACTUAL WIDTH	ACTUAL THICKNESS
8 FT. (96 IN.) (2438 MM)	NO GROOVE SQUARE EDGE	47.88 IN. (1216 MM)	0.315 IN. (8 MM), 0.375 IN. (9.5 MM)



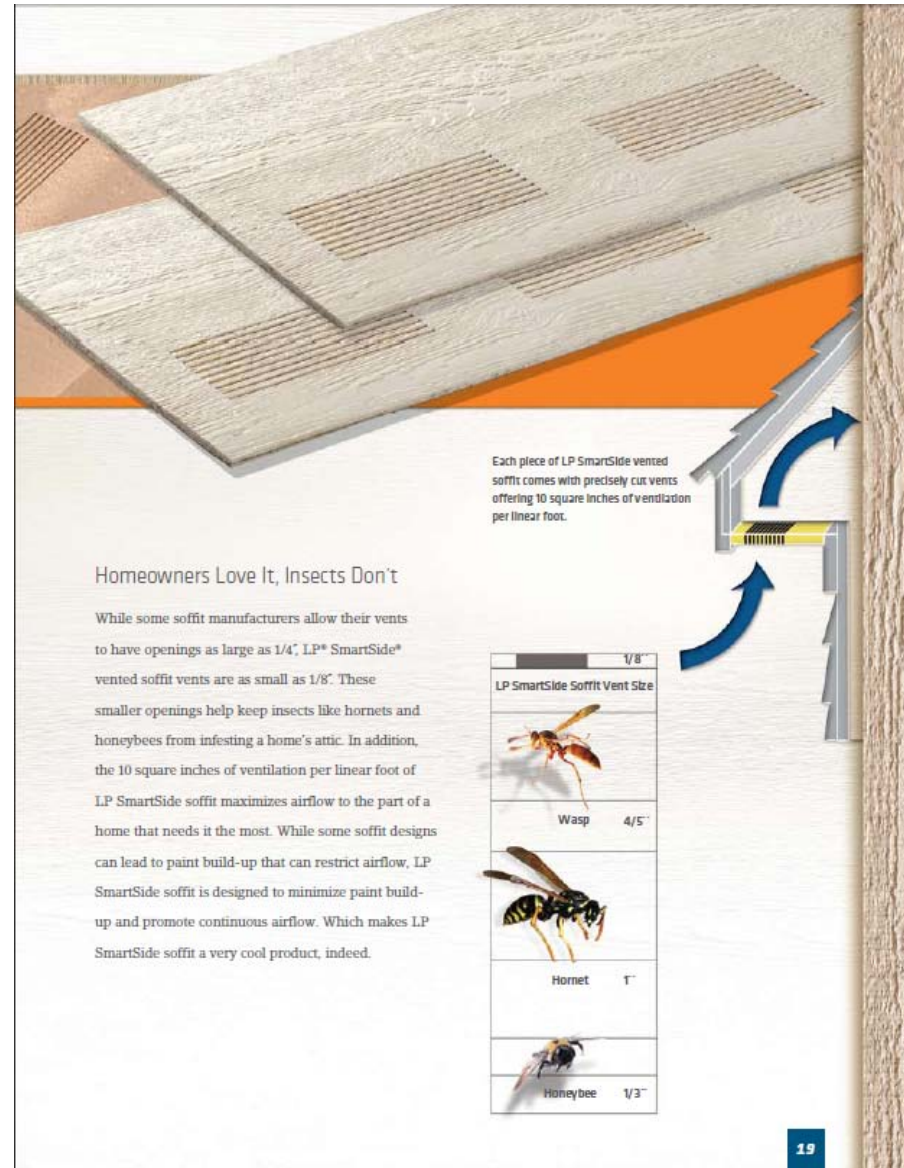
# METHODS & MATERIALS

## Architectural Collection



### LP® SmartSide® Cut-To-Width Vented Soffit Promote Ventilation, Not Infestation

- The ideal alternative to MDO, plywood, vinyl or hand-installed metal vents
- The natural look of cedar
- Precisely cut vents offer 10 square inches of ventilation per linear foot
- Exceeds ventilation requirements of most building codes
- Designed to minimize paint build-up and promote continuous airflow
- Vents as small as International Building Codes allow (1/8") keep insect pests out
- Available in three standard widths to fit in 12", 16" and 24" soffits
- Eliminates time spent ripping full sheets
- 16' length for faster installation and fewer seams
- Manufactured with our proprietary SmartGuard® process to help prevent fungal decay and termite damage
- Silica-free strand substrate works and cuts like traditional wood, no special tools or protective gear required



# METHODS & MATERIALS

## ING & DECK PROJECT

### LP® SmartSide® Products Warranty

#### Prorated 50-Year Limited Warranty

This warranty is limited to LP SmartSide lap siding, panel siding, trim and fascia, SmartFinish, SilverSide and soffit ("the Product(s)") installed on structures permanently located in the United States or Canada.

#### 1. Warranty Coverage-Limited 50-year Warranty

Louisiana-Pacific Corporation ("LP")'s warranty is made to the original purchaser of the Product(s) ("Purchaser"), the original owner of the structure on which the Product(s) are installed, and to the next owner of that structure (together "Owner"). LP's express warranties may not be assigned to any subsequent owners of the structure. LP warrants that, at the time of manufacture, the Product(s) will be free of defects in materials and workmanship.

In addition, the Product(s) will remain free from: a) fungal degradation; b) buckling and c) cracking, peeling, separating, chipping, flaking or rupturing of the resin-impregnated surface overlay for a period of 50 years from the date application is completed, when the Product(s) has been stored, handled, applied, finished and maintained in accordance with LP's application, finishing and maintenance instructions in effect at the time of application.

LP SmartSide Precision Series 3/8" lap and panel siding product(s),

LP SmartSide Precision Series 7/16" panel product(s), LP SmartSide

LP SmartSide Precision Series 1/2" lap product(s), LP SmartSide

LP SmartSide Precision Series 1/2" panel product(s), LP SmartSide

LP SmartSide Precision Series 1/2" panel product(s), LP SmartSide

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LP SmartSide Precision Series 1/2" panel product(s), LP SmartSide

#### 4. Exclusion of All Other Warranties, Express or Implied

**A. THIS LIMITED EXPRESS WARRANTY IS THE ONLY WARRANTY APPLICABLE TO THIS PRODUCT(S) AND EXCLUDES ALL OTHER EXPRESS OR IMPLIED WARRANTIES, INCLUDING ANY IMPLIED WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OR ANY WARRANTIES OTHERWISE ARISING FROM THE COURSE OF DEALING OR USAGE OF TRADE OR ADVERTISING, EXCEPT WHERE SUCH WARRANTIES ARISE UNDER APPLICABLE CONSUMER PRODUCT WARRANTY LAWS, AND CANNOT BE LAWFULLY DISCLAIMED, IN WHICH EVENT SUCH WARRANTIES ARE LIMITED TO THE MAXIMUM EXTENT PERMITTED BY SUCH LAWS.**

Some states do not allow limitations on how long an implied warranty lasts, so the above limitations may not apply to you.

**B. NO OTHER EXPRESS WARRANTY HAS BEEN MADE OR WILL BE MADE ON BEHALF OF LP WITH RESPECT TO THIS PRODUCT(S).**

#### 5. Certain Damages Excluded from Warranty Coverage

This Limited Express Warranty does not cover or provide a remedy for damage that results from:

- misuse or improper storage, handling, application, finishing or maintenance, or alterations to a structure, or the original application of the Product(s); or of God, such as lightning, hail, earthquake or other natural causes, or the use of design, application or construction of the structure on which the Product(s) is applied, or storage or handling of the Product(s) prior to application;
  - product(s) that is not applied, finished and maintained in strict accordance with LP's instructions in effect at the time of original application;
  - swelling and/or other checking. Such swelling and/or checking normally occurs in wood products in response to changes in moisture content.
  - structural damage which does not affect the structural integrity of the Product(s).
- Design, application or construction of the structure on which the Product(s) is installed.

#### 6. Responsibility of Purchaser or Owner

**COMPLIANCE WITH EACH OF THE REQUIREMENTS SET OUT BELOW IN SECTIONS (A) AND (B) IS INCLUSIVE IS A CONDITION TO LP'S OBLIGATIONS UNDER THIS WARRANTY AND THE FAILURE TO COMPLY WITH ANY ONE OR MORE OF THE ITEMS SHALL VOID ANY RIGHTS OWNER AND PURCHASER MAY HAVE AGAINST LP.**

- Homeowners are required to register their home for warranty coverage within 60 days of installation. Warranty Registration is easy and can be accomplished in any one of three ways: 1) Mail-in Registration Cards in the units; 2) Link to LP public web site home page; 3) Phone call to customer service at 800-450-6106 requesting Registration Cards. Second homeowner will be required to provide evidence of chain of ownership of home, e.g., Deed Transfer.
- Any Purchaser or Owner seeking remedies under this warranty must notify LP at the number listed below, within 30 days after discovering a possible nonconformity of the Product(s) and before beginning any permanent repair. This notice should include the date on which the Product(s) application was completed. It is the Owner's responsibility to establish the date of installation.
- LP must be given a 60-day opportunity to inspect the siding. Upon reasonable notice, the Purchaser or Owner must allow LP's agents to enter the property and structure on which the Product(s) is applied to inspect such Product(s).

#### 7. Governing Law

All questions concerning the meaning or applicability of this limited warranty are to be decided under the laws of the State of Tennessee without reference to its choice-of-law rules.

This warranty gives you specific legal rights, and you may also have other rights which vary from state to state.

For further information, please call Customer Support at 800.450.6106, or write to: LP Corporation, 414 Union Street Suite 2000, Nashville, TN 37219

5/50 YEAR LIMITED WARRANTY

# METHODS & MATERIALS

## SUPER JUMBO TEX<sup>®</sup> WEATHER-RESISTIVE BARRIER

60 MINUTE

PREMIER

### Part of a Complete Moisture Control System

Super Jumbo Tex 60 Minute is the industry's leading 60 Minute building paper, with an unmatched track record of performance in the field. It is a member of the Jumbo Tex product line that has been chosen by builders and architects to protect over five million homes and commercial buildings from the problems caused by water intrusion and excessive moisture.

Super Jumbo Tex 60 Minute is used in both production and custom residential construction where there is a need for a high performance weather-resistant barrier. The product delivers over six times the water protection of standard Grade "D" paper, while providing optimal breathability, to prevent the potential for moisture condensation within exterior walls. As important, it has the rugged durability necessary to resist tearing and puncturing on the jobsite. The product is part of a complete Moisture Control System for walls engineered by the Fortifiber Building Systems Group<sup>®</sup>, which helps manage and eliminate moisture-related problems – including water-related structural failures, mold and mildew.

*“The industry's leading 60 Minute building paper; with an unmatched track record of performance in the field...”*

Moisture Control System for walls engineered by the Fortifiber Building Systems Group<sup>®</sup>, which helps manage and eliminate moisture-related problems – including water-related structural failures, mold and mildew.

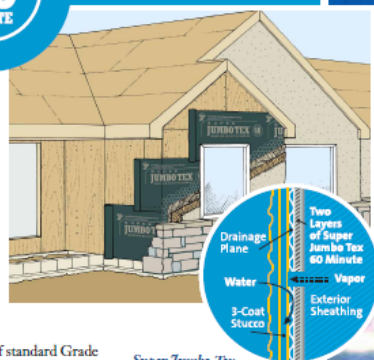
### Unique Weather-Resistive Properties

The product is an asphalt-saturated building paper, which delivers highly reliable performance in the real world. Because it is manufactured from a base stock of kraft linerboard, Jumbo Tex is far less brittle than felt – so it is less likely to tear during installation around corners and in tight conditions. Unlike some housewraps, it will retain its weather-resistive properties when exposed to either job site surfactants or wood extracts and tannin derivatives from wood siding.

The product's 40 inch roll size makes it easier to install and store on the jobsite than other weather-resistive building materials. It is also more cost-effective than most housewraps, while offering the most formidable defense against water intrusion and moisture problems. In fact, it is possible to pay in excess of three times more for other weather-resistive barriers that cannot surpass its reliable performance behind stucco, fiber cement siding, brick, vinyl and wood siding.

### Decades of Proven Performance

Super Jumbo Tex 60 Minute is a product manufactured by the Fortifiber Building Systems Group. With more than a seventy-year history of proven performance, technical expertise and practical know-how, the company has become a trusted partner to builders, architects and code officials.



Super Jumbo Tex 60 Minute protects against water intrusion from the outside, while allowing moisture to escape from the inside.

- SOLID PROTECTION AGAINST MOISTURE PROBLEMS
- STRONG WATER RESISTANCE
- EXCELLENT PRICE-PERFORMANCE
- IDEAL BALANCE BETWEEN WATER RESISTANCE AND PERMEABILITY
- FOR STUCCO, FIBER CEMENT SIDING, BRICK, VINYL AND WOOD SIDING
- REDUCES AIR INFILTRATION



## SUPER JUMBO TEX 60 MINUTE

**Product Description:** Super Jumbo Tex 60 Minute is a premier grade weather-resistive barrier designed for use within a variety of exterior wall assemblies. It provides excellent protection from internal wall damage due to water intrusion and condensation.

**Composition:** Super Jumbo Tex 60 Minute is an asphalt-saturated kraft Grade "D" breather type sheathing paper.

**Size & Weight:** Super Jumbo Tex 60 Minute is supplied in 40" x 240 sq. ft. and 40" x 324 sq. ft. rolls. Product weight is approximately 6 lbs/100 sq. ft.

**Applicable Standards:** Exceeds Federal Specification UU-B-790a, Type 1, Grade "D", Style 2.

Complies with the Uniform Building Code Standard 14-1.

Complies as an alternative to the weather-resistive barrier specified in Section 1404.2 of the International Building Code<sup>®</sup>.

Complies as an alternative to the weather-resistant sheathing papers specified in Section R703.2 of the International Residential Code<sup>®</sup>.

ICC ESR-1027, BOCA Evaluation Report No. 21-46, SBCCI Evaluation Report No. 2103 and CCMC Evaluation Listing No. 13142-L.

American Society for Testing & Materials (ASTM):

- ASTM D-779 - Standard Test Method for Water Resistance of Paper, Paperboard and Other Sheet Materials by the Dry Indicator Test Method
- ASTM D-828 - Tensile Properties of Paper and Paperboard Using Constant-Rate-of-Elongation Apparatus
- ASTM E-96 - Water Vapor Transmission of Materials
- ASTM E-283 - Standard Test Method for Determining Rate of Air Leakage Through Exterior Windows, Curtain Walls, and Doors Under Specified Pressure Differences Across the Specimens
- ASTM E-1677 - Standard Specification for an Air Barrier Material

**Physical Properties:** Super Jumbo Tex 60 Minute is continually tested in accordance with ASTM procedures. The values shown in Table 1 are typical values obtained in these tests.

**Limitations:** Product should be covered as soon as possible. Inspect product to insure it is free of any protrusions or damage

which may detract from the weather-resistive barrier integrity. Holes, tears or punctures should be sealed with Moistop<sup>®</sup> Sealant or Fortifiber Sheathing Tape. This product is not recommended for horizontal, below grade or roofing applications.

**Installation:** Super Jumbo Tex 60 Minute should be installed in accordance with the local applicable building code. The International Residential Code Section R703.2 and Uniform Building Code Standard 14-1, section 1402.1, state that weather-resistive barriers should be applied horizontally, with the upper layers overlapping the low or layer by a minimum of 2" (3" is recommended), and all vertical joints should be lapped a minimum of 6". To ensure the integrity of the weather-resistive barrier system, Fortifiber strongly recommends the use of a Two-Ply Jumbo Tex product or two layers of a single ply Jumbo Tex product when used with a three-coat stucco system.

**Availability:** The Fortifiber Building Systems Group's products are distributed nationwide. For product information and pricing, please call a Fortifiber distributor near you. If you need assistance locating a participating distributor, please call our Customer Service Department at 1-800-773-4777.

**Fortifiber Warranty:** Fortifiber Corporation warrants that its products are in compliance with their published specifications and are free from defects in materials and workmanship for a period of two years from the date of purchase. This warranty does not apply to loss due to abuse. Material found to be defective will be replaced at no charge by Fortifiber, but in no event shall Fortifiber be liable for any other costs or damages, including any labor costs.

THIS EXPRESS WARRANTY IS GIVEN IN LIEU OF AND EXCLUDES ALL OTHER EXPRESS OR IMPLIED WARRANTIES, INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. Fortifiber's sole obligations under this warranty are as set forth herein. In no event shall Fortifiber be liable for any loss revenue or profits, direct, indirect, special, incidental or consequential damages of any kind.

This product may be eligible for Fortifiber's ForiShield 10 year warranty when used in conjunction with other Fortifiber products. Please see our website at [www.fortifiber.com/warranty.htm](http://www.fortifiber.com/warranty.htm) for details.

**SPECIFICATION SUMMARY:** Provides secondary weather protection behind exterior cladding to prevent moisture penetration and condensation in exterior wall assemblies.

**WEATHER-RESISTIVE BARRIER:** Fortifiber/Super Jumbo Tex 60 Minute asphalt saturated kraft 60 minute Grade "D" breather type sheathing paper, single ply.

**REFERENCE SPECIFICATION:** Federal Specification UU-B-790a, Type 1, Grade "D", Style 2.

Table 1- Physical Properties

CHARACTERISTIC	TEST METHOD	RESULTS	INDUSTRY STANDARD
Water Vapor Transmission	ASTM E-96 (A)	75 grams 11 perms (MVT)	35 grams (min.) 5 perms (MVT)
Water Resistance	ASTM D-779	>60 minutes	10 minutes
Tensile Strength	ASTM D-828	MD - 70 lb./Inch CD - 60 lb./Inch	MD - 20 lb./Inch CD - 20 lb./Inch
System Air Leakage	ASTM E-283	.02 CFM/ft <sup>2</sup>	.06 CFM/ft <sup>2</sup>



**Fortifiber Building Systems Group<sup>®</sup>**  
Protecting Your World from the Elements<sup>®</sup>

Call 1-800-773-4777 or 1-775-333-6400 for sales and technical assistance. On the Internet visit [www.fortifiber.com](http://www.fortifiber.com).

© 2013 Fortifiber Building Systems Group. Fortifiber<sup>®</sup>, FortiShield<sup>®</sup>, FortiSeal<sup>®</sup>, Jumbo Tex<sup>®</sup>, Moistop 1-2 Seal<sup>®</sup>, Moistop nix<sup>®</sup>, Moistop P<sup>®</sup>, Moistop Sealant and Protecting Your World from the Elements<sup>®</sup> and Trademarks of Fortifiber Corporation. 10/13

# METHODS & MATERIALS

## FORTIFLASH® WATERPROOF FLASHING MEMBRANE

The proper flashing of windows, doors and other fenestrations helps insure against owner warranty claims due to water intrusion, as well as averts potential exposure to litigation and safeguards builders' reputations.

The FortiFlash waterproof flashing membrane is part of a complete Moisture Control System for walls engineered by the

“**Engineered to deliver lasting protection against water intrusion in the most demanding environmental conditions.**”

### Premium Self-Adhesive Flashing Membrane

FortiFlash is engineered to deliver lasting protection against water intrusion in the most demanding environmental conditions. It is the premium self-adhesive waterproof flashing membrane for windows. It is also ideally suited for flashing non-roofing horizontal conditions such as pot shelves, parapets, sill pans and recessed windows. Its strong adhesion makes it a perfect choice for sealing around common through-wall penetrations such as hose bibs, vents, electrical boxes and exterior lights. Yet, its price makes FortiFlash the price/performance solution for the most challenging construction requirements.

Reinforced by an incredibly strong cross-laminated high-density polyethylene film, FortiFlash can be installed around protrusions and into the tightest corners without delaminating or tearing. Its self-sealing rubberized asphalt core stays in place in the most punishing weather conditions.

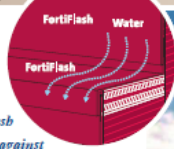
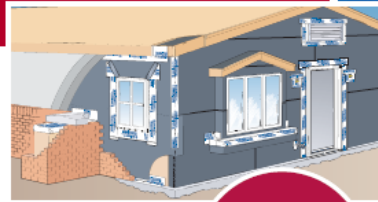
FortiFlash is available in 4, 6, 9, 12, 18 and 36 inch widths, in both 25 and 40 mil thicknesses – so you can protect both vertical and non-roof horizontal conditions. FortiFlash 25 is ideal for working in tight corners, while FortiFlash 40 is suited for those situations where a thicker product is required.

### Part of a Complete Moisture Control Solution

FortiFlash integrates with Fortifiber's complete system of flashing products and accessories, Moistop® Sealant and our entire line of weather-resistant barriers to form a comprehensive weatherization system that protects homes and buildings from moisture intrusion problems. Designed through the use of building science and perfected in the field, this is the only complete moisture control system available in the industry from a single source. Comprised of compatible materials, the system takes the guesswork out of selecting flashing, sealing materials, and weather-resistant barriers that work together and deliver performance you can count on.

### Decades of Proven Performance

FortiFlash is a product distributed by the Fortifiber Building Systems Group. With more than a seventy-year history of proven performance, technical expertise and practical know-how, the company has become a trusted partner to builders, architects and code officials.



FortiFlash protects against water intrusion in horizontal applications such as pot shelves, parapets and recessed windows.

MAXIMUM WATER AND LEAK PROTECTION

SELF-ADHESIVE INSTALLATION

SELF-SEALING CORE

MOLD RESISTANT

PART OF A COMPLETE MOISTURE CONTROL SYSTEM



## FORTIFLASH

**Product Description:** FortiFlash is a premium 25 mil and 40 mil self-adhesive waterproof membrane designed for use as a concealed flashing in frame construction where a waterproof membrane is required.

**Composition:** FortiFlash is composed of a self-sealing SBS modified asphalt core laminated to a cross-laminated, high-density polyethylene film reinforcement with a siliconized paper release sheet.

**Size & Weight:** FortiFlash is supplied in convenient 4', 6', 9', 12', 18' and 36' widths by 75' long rolls. 25 mil weight is approximately 3.8 (4'), 5.7 (6'), 8.5 (9'), 11.4 (12'), 15 (18') and 30 (36') lbs. per roll; 40 mil weight is approximately 5.7 (4'), 8.6 (6'), 13 (9'), 17 (12'), 26 (18') and 52 (36') lbs. per roll.

**Applicable Standards:** Complies with the International Code Council Evaluation Services Acceptance Criteria for Flashing Materials (AC 148).

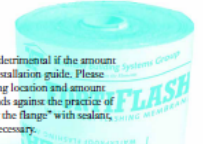
Complies to the flexible flashing specified in Section 1405.3 of the 2003 International Building Code®, Section R703.8 of the International Residential Code® and Section 1402.2 of the 1997 Uniform Building Code™.

American Society for Testing & Materials (ASTM):

- ASTM D-146 - Standard Test Methods for Sampling and Testing Bitumen-Saturated Felt and Woven Fabric for Roofing and Waterproofing
- ASTM D-412 - Standard Test Method for Vulcanized Rubber and Thermoplastic Rubbers and Thermoplastic Elastomers-Tension
- ASTM D-779 - Standard Test Method for Water Resistance of Paper, Paperboard, and Other Sheet Materials by the Dry Indicator Method
- ASTM D-903 - Peel or Stripping Strength of Adhesive Bonds
- ASTM E-96 - Water Vapor Transmission of Materials
- ASTM E-154 - Standard Test Method for Water Vapor Retarders Used in Contact with Earth Under Concrete Slabs, on Walls, or as Gressed Cover
- ASTM G-21 - Standard Practice for Determining Resistance of Synthetic Polymeric Materials to Fungus

**Physical Properties:** FortiFlash is continually tested in accordance with ASTM procedures. The values shown in Table 1 are averages obtained in these tests.

**Limitations:** For optimum adhesion, FortiFlash should be applied at temperatures between 40° F (4.4° C) and 120° F (48.9° C). Product should be covered as soon as possible (exposure not to exceed 45 days). Inspect product to ensure it is free of any damage which may compromise its moisture-resistant properties. FortiFlash is not compatible with EPDM or flexible (plasticized) Polyvinyl Chloride (PVC) based membranes. Where installed horizontally or with a slope of less than 60° do not use fasteners. FortiFlash also is not compatible with some sealants. Consult with sealant manufacturer for compatibility information. Direct exposure



of sealant to the adhesive side of FortiFlash can be detrimental if the amount of sealant exceeds what is specified in Fortifiber's installation guide. Please follow installation guide recommendations regarding location and amount of sealant to be used. Fortifiber strongly recommends against the practice of using a "knockdown bead of sealant," or "buttering the flange" with sealant, because this amount of sealant is excessive and unnecessary.

**Installation:** Prior to installation, surfaces should be dry and cleaned free of any dirt or other substances that may interfere with adhesion, as well as any sharp protrusions. Surfaces shall have no voids, damaged, or unsupported areas. Repair surfaces before installing membrane. Primer must be used over some substrates including gypsum board (including Dens-Glass Gold), concrete and masonry. For all other substrates field test a small sample of FortiFlash prior to application. If adhesion is inadequate, apply 3M Super 77® Spray Adhesive according to the manufacturer's application instructions. Areas not covered with membrane the same day must be re-primed.

To apply FortiFlash, peel away the release paper and press membrane firmly over substrate, applying sufficient pressure with a metal or wood roller along the entire membrane to ensure a continuous seal. For a complete set of installation instructions, visit [www.fortifiber.com](http://www.fortifiber.com) or request a copy from Technical Assistance at 1-800-773-4777.

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THIS EXPRESS WARRANTY IS GIVEN IN LIEU OF AND EXCLUDES ALL OTHER EXPRESS OR IMPLIED WARRANTIES, INCLUDING BUT NOT LIMITED TO THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. Fortifiber's sole obligations under this warranty are as set forth herein. In no event shall Fortifiber be liable for any lost revenue or profits, direct, indirect, special, incidental or consequential damages of any kind.

This product may be eligible for Fortifiber's FortiShield 10 year warranty when used in conjunction with other Fortifiber products. Please see our website at [www.fortifiber.com/warranty.htm](http://www.fortifiber.com/warranty.htm) for details.

**SPECIFICATION SUMMARY:** Provides self-adhesive waterproofing membrane for sealing vertical and non-roofing horizontal conditions, such as sills, pans, shelves, through-wall penetrations and gaps.

**WATERPROOF FLASHING MEMBRANE:** Fortifiber/FortiFlash self-adhesive, self-sealing SBS modified asphalt waterproof membrane laminated to high density, cross-laminated polyethylene film reinforcement.

**REFERENCE SPECIFICATION:** International Code Council AC 148.

Table 1 - Physical Properties

CHARACTERISTIC	TEST METHOD	25 MIL	40 MIL
Application Temperature	-	40°F to 120°F (4.4°C to 48.9°C)	40°F to 120°F (4.4°C to 48.9°C)
Service Temperature	-	-40°F to 158°F (-40°C to 70°C)	-40°F to 158°F (-40°C to 70°C)
Lap Adhesion	ASTM D-903	9.3 lb./inch	10 lb./inch
Mold Growth	ASTM G-21	0 Fungal Growth	n/a
Puncture Resistance	ASTM E-154	40 lbf.	40 lbf.
Water Vapor Permeance	ASTM E-96	< 0.08 perms	< 0.05 perms
Water Resistance	ASTM D-779	>200 hours	>200 hours



**Fortifiber Building Systems Group®**  
Protecting Your World from the Elements®

Call 1-800-773-4777 or 1-775-333-6400 for sales and technical assistance. On the Internet visit [www.fortifiber.com](http://www.fortifiber.com).

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# METHODS & MATERIALS

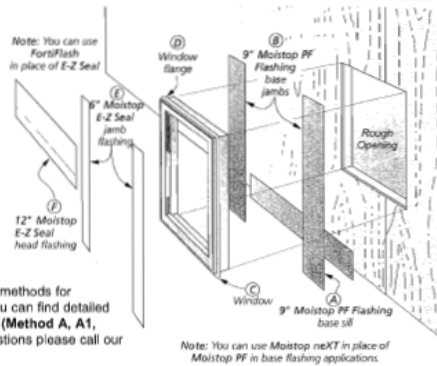
## Fortifiber Building Systems Group® HIGH PERFORMANCE WINDOW FLASHING SYSTEM

This system from Fortifiber Building Systems Group raises the standard for flashing windows and doors. The system starts with your choice of one of two tried and true Fortifiber products, **Moistop PF®** or **Moistop neXT™**. This base layer of flashing is mechanically attached (large-headed nails).

Next, the window is installed using the proper fasteners and **Moistop® Sealant**. Finally, the jambs and head flange are covered with **Moistop E-Z Seal®** or **FortiFlash® Waterproof Flashing Membrane**.

The High Performance Window Flashing System depends on this sequential installation for its success.

Also, this system is just one of four proven methods for flashing windows. At [www.fortifiber.com](http://www.fortifiber.com) you can find detailed instructions for the remaining three methods (**Method A, A1, and Method B**). If you have any further questions please call our Toll Free Technical Hotline at 800-773-4777.



Listed below are the sizes and lengths available of these Fortifiber products:

- Mechanical flashing for base layer
- **Moistop neXT Flashing**, 6, 9 and 12 inch x 200' rolls
  - **Moistop PF Flashing**, 6, 9, 12, and 18 inch x 300' rolls
  - **Moistop Sealant** (Exceeds AAMA Standards)

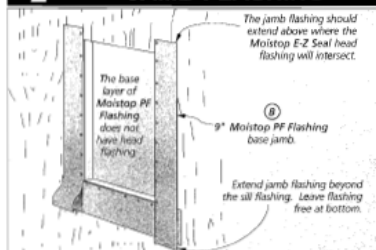
- Self Adhesive flashing for the jambs and head flange
- **Moistop E-Z Seal Self Adhesive Flashing**, 6, 9 and 12 inch x 75' rolls
  - **FortiFlash Waterproof Flashing Membrane**, 4, 6, 9, 12, 18 and 36 inch x 75' rolls

### 1 SILL FLASHING



Once the rough opening is prepared, proceed by attaching **Moistop PF Flashing (A)** flush along the bottom of the rough opening. Be sure not to fasten the lower edge of the flashing so that a Fortifiber weather-resistive barrier may be slipped up underneath the flashing in a weather-board fashion, extend the flashing beyond the jamb flashing to be applied later.

### 2 JAMB FLASHING



Cut a strip of **Moistop PF Flashing** long enough to extend beyond sill flashing already in place, and above where the **Moistop E-Z Seal** head flashing will intersect. Next attach the jamb flashing (**B**) flush to the edge of the rough opening leaving the bottom free. Repeat above steps for the remaining jamb.

CONTINUED...

## INSTALLING JUMBO TEX®

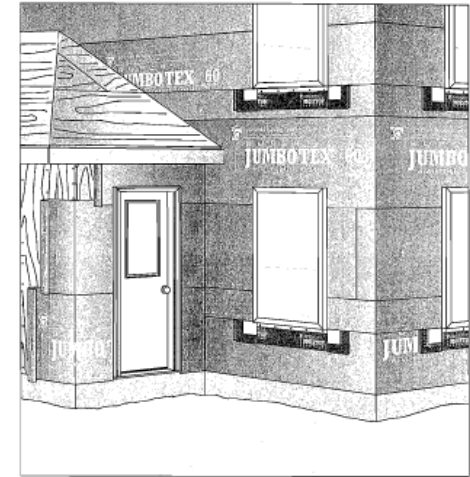
THIS GUIDE APPLIES TO ALL GRADES OF JUMBO TEX

Fortifiber Building Systems Group® provides this guide to assist installers by demonstrating an efficient and effective method for installing **Jumbo Tex** in common residential and light commercial settings. The back of this document has details regarding integrating **Jumbo Tex** with window flashing.

Compliance with the building code and proper installation are critical in reducing potential water leakage points. It is the responsibility of the architect, or builder to ensure that these standards are met.

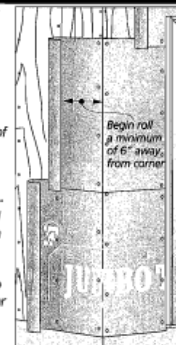
There are six grades of **Jumbo Tex** available:

- **Super Jumbo Tex® 60 minute**, 40" x 240 and 324 sq. ft. rolls
- **Two-Ply Super Jumbo Tex® 60 minute**, 40" x 162 sq. ft. rolls
- **Jumbo Tex® HD 30 minute**, 40" x 324 and 500 sq. ft. rolls
- **Two-Ply Jumbo Tex® HD 30 minute**, 40" x 162 sq. ft. rolls
- **Jumbo Tex®**, 40" x 324 and 500 sq. ft. rolls
- **Two-Ply Jumbo Tex®**, 40" x 162 and 250 sq. ft. rolls

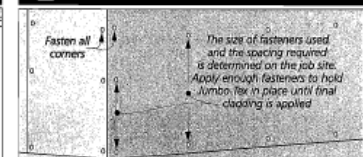


### 1 INSTALLING JUMBO TEX

Install **Jumbo Tex** directly to studs or over an approved exterior sheathing. Starting at the bottom of one end of the wall, place the **Jumbo Tex** roll horizontally (overlapping the corner by a minimum of 6") and roll out the first course evenly, covering rough window and door openings. Attach the membrane so that it is tight and flat and then place enough fasteners to hold in place until the final wall cladding is installed. Fasten **Jumbo Tex** securely to the exterior wall with appropriate fasteners (**Step 2**).



### 2 FASTENING

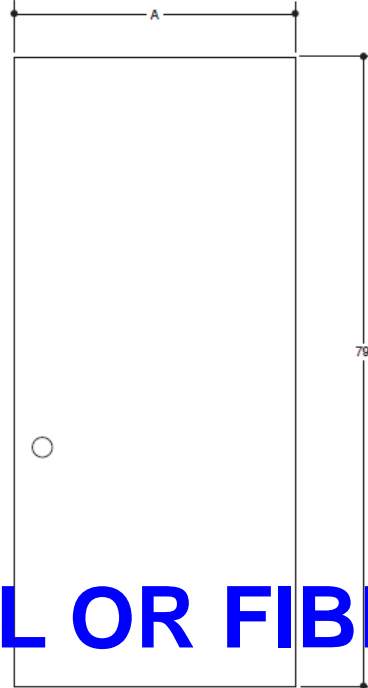


Under normal conditions, attaching **Jumbo Tex** with a quality exterior grade staple is acceptable. A higher grade of galvanized fastener, or large headed galvanized nail may be required in certain settings or weather conditions. Apply enough fasteners to hold **Jumbo Tex** into place until final cladding is applied.

It is the responsibility of the architect, builder, or foreman to decide the type of exterior grade fastener that will best suit the job at hand. And how many of these fasteners are required.

# METHODS & MATERIALS

Masonite



LK-00/WK-00  
KK-00/GK-00

Available as "WK" Series	A	23-3/4"	2'0"
	A	29-3/4"	
Available as "WK" Series	A	31-3/4"	2'6"
	A	33-3/4"	
Available as "WK" Series	A	35-3/4"	2'8"
	A	35-3/4"	
Available as "WK" Series	A	35-3/4"	2'10"
	A	35-3/4"	
Available as "WK" Series	A	35-3/4"	3'0"
	A	35-3/4"	

**STEEL OR FIBERGLASS  
UTILITY DOORS**

**Please Note:**

1. Available as Fire Rated - Warnock Hersey Labeled in "KK" and "GK" Series, 2'6", 2'8" and 3'0" widths.

PART NO.	QTY.	DESCRIPTION
		(LK) BUILDERS SERIES METAL-EDGE (WK) BUILDERS SERIES WOOD-EDGE (KK) BUILDERS SERIES WOOD-EDGE 20-MINUTE RATED (GK) BUILDERS SERIES METAL-EDGE 90-MINUTE RATED

Our continuing program of product improvement makes specifications, design and product detail subject to change without notice.

# METHODS & MATERIALS



## "Rot Proof Solutions for Your Home"<sup>TM</sup>

No matter how well a home is built, over time water and insects will come in contact with exterior door frames. Builders demand products that will resist rot and reduce costly repairs.

Protecting the base of exterior frames is the idea behind our patented FrameSaver® technology. A revolutionary wood composite material so resistant to rot and insect damage, we guarantee the frame for life.

Contact Endura Products, Inc. for FrameSaver® and more rot proof solutions for the home; featuring all composite Z-Series Sills, French Door Astragals, Continuous Entry Door Systems, and weather sealing products.



U.S. patents:  
5,961,947 5,873,209 5,952,301  
6,122,882 6,425,222 6,448,410B1  
and other U.S. and foreign patents applied for



8817 West Market Street • Colfax, NC 27235  
800.334.2006 • fax 336.668.4478  
www.enduraproducts.com  
www.framesaver.com



ROT PENETRATED DEEP INTO FRAME SYSTEM

WATER WICKED UP THE END OF JAMB (CAUSED COSTLY DAMAGE!!)

MOLD BUILD UP

WATER CAN WICK UP WEATHER STRIP

IMPROPER WEATHER SEAL

## FRAMESAVER ROT-RESISTANT DOOR FRAMES



**Finger Jointed** composite material to wood creates a perfect fit and maintains the structural integrity of the frame.

**Machines & Finishes Just Like Wood.**

**Composite Material** won't absorb water like wood, and prevents bottom of the frame from ever rotting.

**Guaranteed For Life.** Revolutionary wood composite material is so resistant to rot and insect damage that it is guaranteed for life.



## FEATURES

- Eliminates callbacks - Guaranteed
- Lifetime warranty against rot or insect damage
- Composite bottom will not wick or absorb water
- Available frames for door unit widths of 4-1/8" to 8-7/8" and for sidelite and hinged patio applications
- Easy to use - Machines, sands and finishes like a standard wood frame
- Available for 2x6, 2x8 and 2x10 garage door applications
- Available in a variety of mull sizes:
 

1-3/4x4	2x4-3/8
1-3/4x4-1/4	2-1/2x3-9/16
2x3-9/16	2-1/2x4-3/8



### MULLS

Variety of mulls for patio and sidelite units, notched for your sill.



### BRICKMOUND

The same FrameSaver technology is available on brickmould, stucco, and casing mouldings.



### GARAGE DOOR FRAMES

We offer the same FrameSaver protection for garage door frames.



www.enduraproducts.com www.framesaver.com

# METHODS & MATERIALS



LIFESPAN® trim boards, fascia, siding & exterior mouldings are 100% real wood and available with FSC certification. The EPA registered carbon-based preservative protects against rot, termites, fungi, water & corrosion to fasteners. LIFESPAN® is durable, non-corrosive, easy to work with & carries a 30-year limited warranty.



Site Map Disclaimer

**DRY ROT & TERMITE  
RESISTANT TRIM**



PRODUCT DATA

7 07 92 00 Joint Sealants

## SONOLASTIC® 150 with VLM Technology

Very low-modulus, nonsag, elastomeric, silyl-terminated polyether (hybrid) sealant

**Description**

Sonolastic® 150 with VLM Technology is a premium, very low-modulus, high-movement, nonsag, fast-curing, ready-to-use, silyl-terminated polyether sealant. It combines the best qualities of organic and silicone sealants to keep moving joints weathertight.

**Yield**

See page 3 for charts.

**Packaging**

300 ml (10.1 fl oz) cartridges, 30 cartridges per carton  
20 oz (590 ml) ProPaks, 20 per carton  
2 gallon (7.6 L) pails (special order)

**Color**

White, off-white, salt box, limestone, tan, stone, aluminum gray, redwood tan, medium bronze, special bronze, marshfield wand black.

**Shelf Life**

15 months when properly stored.

**Storage**

Store in original, unopened containers in a cool, dry area. Protect unopened containers from heat and direct sunshine. Storing at elevated temperatures will reduce shelf life.

**Features**

- Superior Adhesion
- Very low modulus

- Compatible with nonrigid coatings
- Easy to gun and tool
- Ready-to-use 1 component
- Wide temperature application range
- Weather resistant
- Fast curing
- Nonstaining
- Mildew resistant

- Available in ProPaks
- Very low VOC's (2 g/L)

**Where to Use**

**APPLICATION**

- For sealing a variety of building joints, particularly in EIFS, against water and air intrusion
- Joints with extreme movement
- In place of silicone sealants
- Curtain wall construction
- Expansion joints
- Panel walls
- Precast units
- Aluminum, vinyl, and wood window frames
- Fascia
- Parapets
- Sanitary applications

**LOCATION**

- Vertical or horizontal
- Exterior or interior

**Benefits**

- Long term Bond – reduced call backs
- Accommodates extreme joint movement (100% extension in EIFS joints with little stress on bond line)
- May be painted soon after installation
- Speeds application; makes neater joints
- Reduces labor; speeds application
- Use in all climates
- Provides long-lasting weathertight seals
- Speeds jobsite production
- Use safely on stone and other sensitive substrates
- Does not support mildew growth; offers low-odor alternative for sanitary areas
- Reduces jobsite waste; lowers disposal costs
- Meets all State and Federal regulations

**SUBSTRATE**

- EIFS
- Stucco
- Aluminum
- Concrete
- Masonry
- Wood
- Stone
- Vinyl
- Fiber cement siding

**How to Apply**

**Joint Preparation**

1. Design the number of joints and the joint width for a maximum of ±50% movement.
2. The depth of the sealant should be 1/2 the width of the joint. The maximum depth is 1/2" (13 mm) and the minimum is 1/4" (6 mm). Refer to Table 1.

**LONG LASTING  
FLEXIBLE SEALANT**





# PLAN FUTURE MAINTENANCE



# EXTERIOR PAINTING

- SURFACES NOT PAINTED SINCE 1999 THRU 2004.
- POWER WASH ALL PREVIOUSLY PAINTED SURFACES INCLUDING WOOD, STEEL AND CONCRETE.
- 2 COATS OF EXTERIOR LOW SHEEN PAINT.
- CAULKING AT ALL HORIZONTAL TRIMS WITH **SONOLASTIC 150**.
- APPLY PEEL BOND SYSTEM TO APPROXIMATELY 30,000 SQ/FT OF SIDING.

# SIDING SCOPE OF REPAIRS SUMMARY

- 38% OF SIDING REPLACED.
- 80% OF WINDOW TRIM REPLACED.
- 56% OF CORNER TRIM REPLACED.
- 100% OF FIREPLACE SIDING AND TRIM REPLACED.
- 100% OF SIDING AT CONCEALED RAKES REPLACED.
- 40 HOA UTILITY DOORS AND DOOR FRAMES.
- 54 FIREPLACE METAL CAPS REPLACED.
- NEW COLOR SCHEME WITH 2 COATS OF PAINT.



NO DOGS  
IN COMMON  
AREA

Fence  
Bravado  
160





# RESIDENTIAL BUILDING ROOFS



TruDefinition™  
**DURATION®** SHINGLES  
with SureNail® Technology





## VentSure® Rigid Roll Ridge Vents

With Weather PROtector® Moisture Barrier

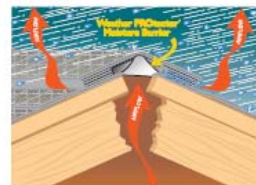


VentSure® Rigid Roll Ridge Vents are shingle-over, low-profile ridge vents designed to provide year-round protection and consistent ventilation in the attic, while achieving a natural, finished look for your roof. What's more, VentSure Rigid Roll Ridge Vents have a Weather PROtector® moisture barrier that helps provide added protection against weather infiltration.



### VentSure® Rigid Roll Ridge Vents.

For an efficient roofing system, it's essential that the attic stay dry and cool. You can create this environment by using VentSure Rigid Roll Ridge Vents. In combination with under-eave soffit vents to allow the natural flow of outside air upward into the attic—and back out again. Without this system, moisture can reduce the effectiveness of your insulation, causing rotting or mildew on wood surfaces, drywall damage, peeling paint or warped siding. VentSure Rigid Roll is an essential component for a complete and healthy roofing system.

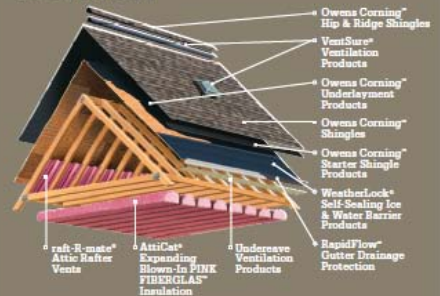


- Patented, durable corrugated plastic construction
- Low 3/4" profile for attractive ridge line
- Long-lasting 50-Year Limited Warranty\*
- Regional availability in three different widths: 11 1/4", 9" and 7" (see map for details)
- Unique design adjusts to almost any roof pitch (2/12 to 20/12)
- Easy-to-handle 20' rolls; end caps are provided in each roll
- Net free vent area: 12.5 sq. in. per lineal ft.
- Meet or exceed requirements of all recognized national building codes for ventilation when properly installed with soffit or eave vents
- Passed all research and development tests for weather infiltration:
  - Testing performed at Architectural Testing Incorporated (ATI) in York, PA
  - Wind-driven rain—8.8" of rain at 110 MPH—PASSED
  - Snow infiltration—snow simulation at 35 and 70 MPH—PASSED with no infiltration
  - Meet ICC ES ESR 2664

\*See actual warranty for complete details, limitations and requirements.

### The essentials for a healthy roofing system.

It takes more than just shingles to create a high-performance roof. It requires a system of products working together. The Owens Corning Roofing System is a lineup of key products that can help provide maximum durability for the roof. And the most protection for the home.



### Product availability map

For assistance in identifying your Service Area, ask your contractor or call 1-800-GET-PINK®.



20' Rigid Roll

11 1/4" width	Blue	Orange
9" width	Blue	Green
7" width	Blue	Yellow



1-800-GET-PINK®

OWENS CORNING®  
ROOFING AND ASPHALT, LLC  
ONE OWENS CORNING PARKWAY  
TOLEDO, OHIO, USA 43659  
1-800-GET-PINK®  
www.owenscorning.com



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# Fiberglas™ Reinforced Felt Underlayer



## Product Details

## Technical Details

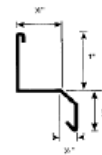
## Related Products

Fiberglas™ Reinforced Felt Underlayer provides an extra layer of protection beneath the shingles to help prevent wind-driven rain from reaching the roof deck. It's an essential part of a complete Owens Corning™ Roofing System.

Roll Size	3' x
Width	400
Weight	42

t.jpg

### PRODUCT DETAIL



### USAGE

Made especially for stucco applications, the reglet is put in place over 3/4" baseboard prior to lathing, and the Springlok flashing is locked into place after the roofing paper is applied. Then stucco is applied over the top.

This system requires a backing (nailer) with sufficient depth to support the reglet and provide tension to create the proper fit.

### MATERIALS & FINISHES

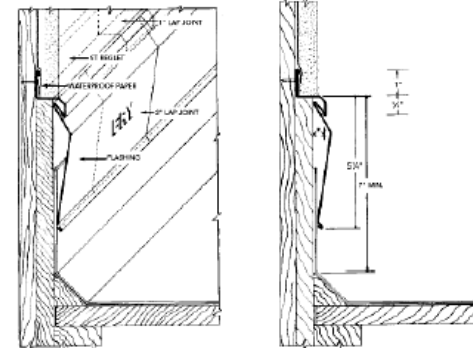
#### MATERIAL & THICKNESS

- Galvanized steel D 24 ga.
- Copper D 16 oz.
- Aluminum D 0.025"
- Stainless steel, Type 304 D 0.020"

#### FINISH & COLOR

- Galvanized steel D Standard zinc finish
- Galvanized steel D Factory applied Kynar 500/Hylar 500 finish
- Copper D Standard uncoated finish
- Aluminum D Gray polyester coating
- Stainless steel, Type 304 D Standard uncoated finish

### INSTALLATION DETAIL



\* Actual dimension between wall and the inside flange of reglet is 3/8". See separate sheet for product installation instructions. Drawings are not to scale.



# PLATINUM PROMISE™ ROOFING SYSTEM LIMITED WARRANTY

Limitations on the transferability of this warranty are set forth herein.



## WHO IS COVERED

To be eligible for this Platinum Promise™ Roofing System Limited Warranty, your property must be located in the United States and you must be the original consumer purchaser (i.e., the homeowner, not the installer or contractor) or the first transferee from the original consumer purchaser (Owner) of a complete Owens Corning® Roofing System (Roofing System), as defined below, from Owens Corning Roofing and Asphalt, LLC (Owens Corning). In addition, the entire Roofing System must be installed by an Owens Corning® Platinum Preferred Contractor (PPC) according to Owens Corning application instructions, on a clean roofing deck and not over existing shingles or other roofing materials, and must meet local building codes in order to be entitled to the benefits of this warranty.

## ELIGIBILITY REQUIREMENTS FOR THIS WARRANTY

- Your Roofing System must be installed by an Owens Corning® PPC who is authorized by Owens Corning to register the Owens Corning® Platinum Promise Roofing System Limited Warranty. PPCs shall install the roof as per the specifications outlined in 5-6.
- Your Roofing System must be installed according to application requirements published by Owens Corning and in accordance with all generally accepted good roofing practices (using AHMA and NRCA standard application guidelines) and all local building code requirements which are in effect at the time of installation.

- Your Roofing System must be installed over a clean, dry, and structurally sound substrate. All shingles must be installed over a minimum of 1/2" (1/2") of plywood or OSB sheathing. All shingles must be installed over a minimum of 1/2" (1/2") of plywood or OSB sheathing. All shingles must be installed over a minimum of 1/2" (1/2") of plywood or OSB sheathing.
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## WHAT IS COVERED

We warrant that your Owens Corning® Roofing System is free from any manufacturing defects that materially affect their performance on your roof during the *Tru Protection®* period or that cause leaks for the balance of the applicable warranty period. All non-Owens Corning® products installed on your roof are excluded.

## WORKMANSHIP TERMS

This warranty covers workmanship for a period of time as described in the terms below. Workmanship includes any defective installation of the Owens Corning® Roofing System. The Workmanship Terms are only valid if the Owens Corning® Roofing System is installed by a PPC, per the terms and conditions of the Platinum Promise Roofing System Limited Warranty requirements.

## PLATINUM PROMISE™ WORKMANSHIP PERIOD

During the Platinum Promise Workmanship Period, if any part of your Roofing System is found to have an application defect or there are application errors in your Roofing System, Owens Corning will arrange to have your roof repaired or recovered or, at its sole option, will provide you with replacement roofing products and issue payment for the full reasonable cost of labor and other materials to repair or recover your roof, including flashings at valleys, dormers, chimneys and plumbing vents. The costs of labor to tear off some or all of your Roofing System and disposal are included, if necessary, to repair your roof. Workmanship Period is outlined in the "Limited Warranty Information Table."

**NOTE:** First Two (2) Years. If your claim arises out of an application error which is discovered or discoverable within the first two (2) years after installation, it is the obligation of the PPC who installed your Roofing System to make all necessary repairs. In the event that your roofing contractor is unable or unwilling to perform these repairs, Owens Corning will arrange to have your roof repaired.

## HOW LONG ARE YOU COVERED

The length of your warranty depends on the type of Owens Corning® shingles you purchased. See the "Limited Warranty Information Table" at the end of this warranty to determine the warranty period that applies to your Owens Corning® shingles. If you make a claim under this warranty that results in a repair of your roof, this warranty will be unaffected, as long as the repair is done by an Owens Corning® PPC, and will continue to provide you with coverage on your entire Roofing System provided that Owens Corning® Products are used in the repair. However, if you make a claim that results in your entire Roofing System being removed and replaced, this warranty will be void. If new Owens Corning® shingles are installed, you will then receive an Owens Corning® Standard Limited Warranty. However, if you ever again install an entire Roofing System, you will be eligible to purchase a new Platinum Promise Roofing System Limited Warranty, as long as the new Roofing System is installed by an Owens Corning® PPC per the Eligibility Requirements.

## 1. TRU PROTECTION® PERIOD

During the *Tru Protection* period of this warranty, our payment to you will be one hundred percent (100%) of material and labor costs as reasonably determined by

Owens Corning to repair, replace or recover defective shingles, including the cost of tear-off, and disposal subject to certain limitations. See the "Limited Warranty Information Table" at the end of the warranty for the specific *Tru Protection* period that applies to the Owens Corning® shingles you have purchased.

Under the Platinum Promise Roofing System Limited Warranty, all Owens Corning® Roofing Essentials® Products, (see "Eligibility Requirements for this Warranty" portion of this warranty for products) with the exception of Powered Roof Vents and RapidFlow® share the *Tru Protection* period concurrent with the shingle installed. At the expiration of the *Tru Protection* period, all Roofing Essentials products revert to the coverage specified by their standard warranties.

Under the Platinum Promise Roofing System Limited Warranty, if a cut Owens Corning® Supreme® shingle is used instead of Owens Corning® Hip & Ridge shingles, the warranty term and *Tru Protection* period for the Supreme shingle is fifteen (15) years. It does not assume the warranty term for shingles used on the balance of the roof, unless the entire roof is installed with Supreme shingles. The *Tru Protection* period does not apply to Wind and Algae coverage. Please see "What About Wind Resistance" and "What About Algae Resistance" portions of this warranty for applicable coverage.

**FOR REPAIRS:** If you make a claim under this warranty, we will estimate the proper amount of our payment to you based on the actual cost of the materials and labor to repair or recover your roof, including the cost of tear-off and disposal, subject to certain limitations. We will estimate the proper amount of our payment to you based on the actual cost of the materials and labor to repair or recover your roof, including the cost of tear-off and disposal, subject to certain limitations. We will estimate the proper amount of our payment to you based on the actual cost of the materials and labor to repair or recover your roof, including the cost of tear-off and disposal, subject to certain limitations.

## 2. OTHER TYPES OF STRUCTURES

The warranty for Owens Corning® shingles is not valid if your roof is installed on a structure that is not a single-family detached home, or if the roof is installed on a structure that is not a single-family detached home, or if the roof is installed on a structure that is not a single-family detached home. The warranty for Owens Corning® shingles is not valid if your roof is installed on a structure that is not a single-family detached home, or if the roof is installed on a structure that is not a single-family detached home, or if the roof is installed on a structure that is not a single-family detached home.

## LIFETIME SHINGLE PROURATION TABLE

Structure/Owner	Tru Protection® Period		
	Years 1-10	Promoted Period Years 11 and Beyond	
Single-family detached homes	100%	25%	
Structure/Owner	Years 1-10	Years 11-40 Oakridge® & Duramax® Shingles Only	Years 21-50 All Other Lifetime Shingles
	Other types of structures	100%	50% reduced by 2.5% each year thereafter

## 4. EXCEPTIONS

At all times, Owens Corning's obligation of payment for repair, replacement or promoted portion of the original purchase price of the defective Roofing System is subject to certain limitations.

## 5. WHAT ABOUT WIND RESISTANCE

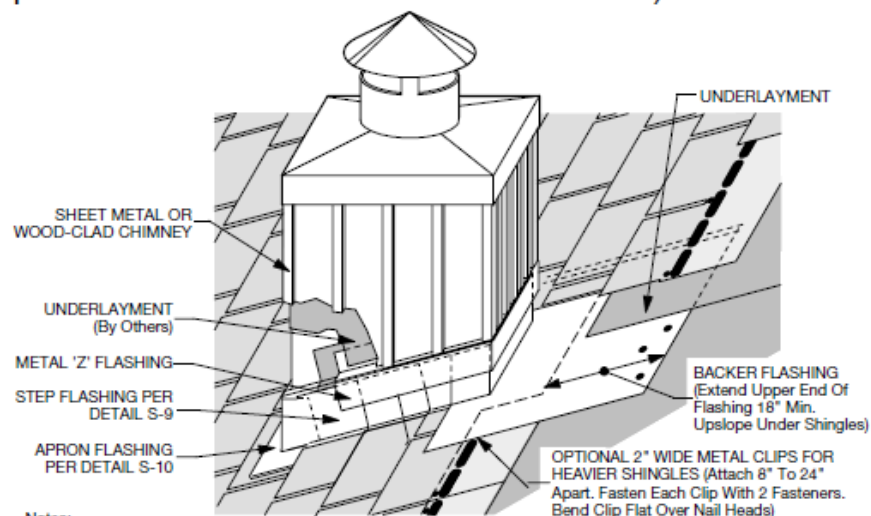
Your shingles contain asphalt sealant that requires direct warm sunlight for several days (Thermal Sealing) in order to seal properly. If your shingles are installed during a period of cool weather, they may not adequately seal until the season changes or the weather warms, and if your shingles never receive direct sunlight or are not exposed to adequate surface temperatures, they may never achieve Thermal Sealing. Prior to Thermal Sealing, your shingles are more vulnerable to blow-offs and wind damage. This is the fundamental nature of shingles and not a manufacturing defect, and we are not responsible for any blow-offs or wind damage that may occur prior to Thermal Sealing having occurred. After your shingles have achieved Thermal Sealing, however, they will be covered under this warranty if they experience blow-offs or wind damage in winds up to the levels listed in the chart at the end of this warranty. **WIND DAMAGE IS IN EFFECT FOR A PERIOD OF FIFTEEN (15) YEARS FOR LIFETIME SHINGLES AND TWELVE (12) YEARS FOR SUPREME SHINGLES, FROM THE ORIGINAL DATE OF INSTALLATION.** Owens Corning will be liable only for the reasonable cost of replacing blown-off shingles (to include material and labor) and the reasonable cost of manually sealing the unattached shingles remaining on the roof. After fifteen (15) years for lifetime shingles and twelve (12) years for Supreme shingles, from date of installation, Owens Corning® shingles and, if applicable, Owens Corning® Hip & Ridge shingles plus labor will be covered at twenty percent (20%) of the original cost of the Owens Corning® shingles. Owens Corning® Hip & Ridge shingles and labor. We will take into account the number of months of use you have enjoyed from the original installation date, through the date of your claim, and reduce the amount of our payment to you accordingly (such payment to be determined from the cost of the Owens Corning® shingles and Owens Corning® Hip & Ridge shingles at time of purchase). Please refer to the "Transferability of This Warranty" portion for applicable transfer coverage.

# 50 YEAR TRANSFERABLE WARRANTY

- 20 Year Full Labor Warranty – Owens Corning
- 20 Year Full Material Warranty – Owens Corning
- 30 Year Pro Rated Material Warranty – Owens Corning

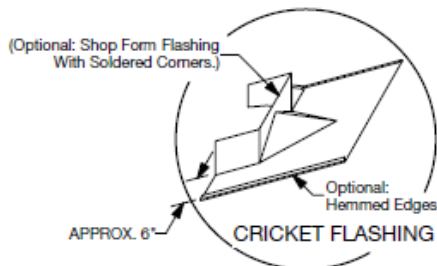
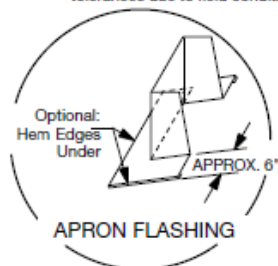
## WOOD-CLAD CHIMNEY BACKER FLASHING (Chimney or other penetration 24 inches or less in width)

S-11a



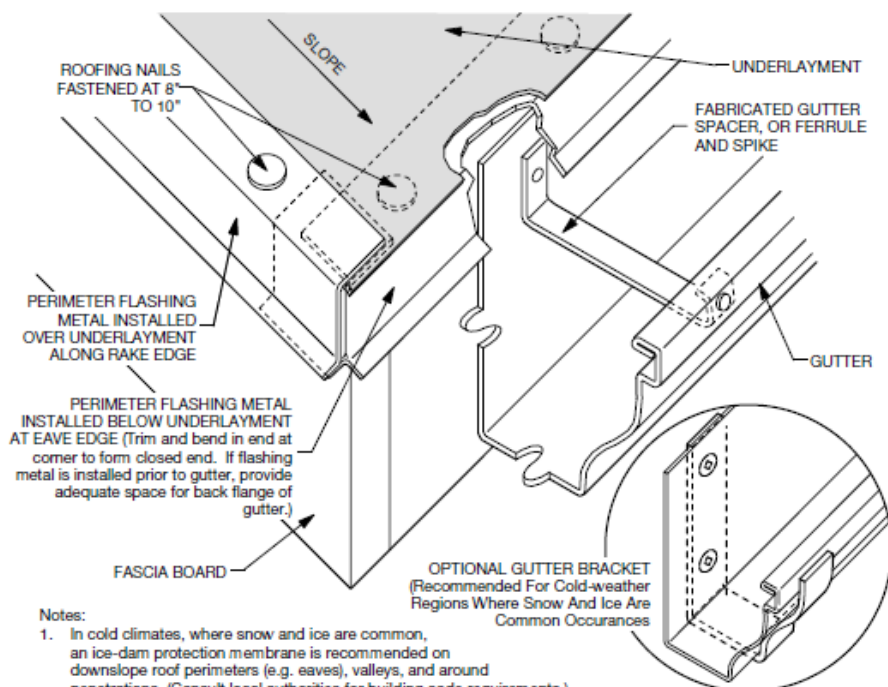
### Notes:

1. Chimney flashing dimensions may vary according to local weather conditions, chimney size, chimney location, slope of roof, and rafter length behind chimney.
2. A backer flashing may be used for chimneys and other penetrations 24" or less in width. Extend approximately 6" up chimney and a minimum of 18" upslope (24" minimum is suggested in ice and snow regions). Consider holding course of shingle(s) upslope from back and upper side of chimney to promote drainage.
3. A saddle or cricket flashing is recommended for chimneys and other penetrations greater than 24" in width to promote positive runoff.
4. A minimum of one layer of No. 15 asphalt-saturated felt, complying with ASTM D-226, is suggested as underlayment on all asphalt shingle roof applications.
5. Sheet metal backer flashing should be a minimum of 26 ga. pre-finished galvanized steel, 16 oz. copper or an equivalent longevity non-corrosive metal suitable for soldered fabrication.
6. Dimensions shown are recommended minimums and are intended to be approximate to allow for reasonable tolerances due to field conditions.



## DRIP EDGE METAL WITH GUTTER

S-3b



### Notes:

1. In cold climates, where snow and ice are common, an ice-dam protection membrane is recommended on downslope roof perimeters (e.g. eaves), valleys, and around penetrations. (Consult local authorities for building code requirements.)
2. Severity of localized climate conditions, regarding rainfall and freeze-thaw cycling, may suggest the installation of perimeter drip-edge metal flashing.
3. Perimeter drip edge metal flashing is recommended to be minimum 26 gauge galvanized steel or other corrosion resistant metal. See Detail 3a for fastening guidelines.
4. Vertical flanges of sheet metal drip-edge flashing should be of sufficient length to permit water to drip off the roof without affecting the underlying construction.
5. Horizontal flange (i.e. roof side) of sheet metal drip-edge flashing should extend approximately 2" to 3" onto the roof.
6. Install starter course per manufacturer's written instructions, if no guidelines are provided, trim 5" to 5 5/8" off end of shingle, cut off tabs, and install so self-sealing strip is downslope (i.e. along lower edge).
7. The perimeter on the roof deck should provide a continuous solid wood nailing surface over which to apply the sheet metal drip-edge flashing.
8. Dimensions shown are recommended minimums and are intended to be approximate to allow for reasonable tolerances due to field conditions.
9. In cold climates consideration should be given to installation of an isolator sheet or strip (e.g., a strip of asphalt-saturated felt) between the wood roof deck and sheet metal flashing flange(s) to minimize the potential for condensation that could result in decay.
10. The profile of specific components, their configuration or sequencing; can vary with the roof system, with climatic differences, and regional or area practices.

# RESIDENTIAL BUILDING ROOFS SUMMARY

- APPROXIMATELY 5% OF ROOFS HAVE BEEN PREVIOUSLY REPLACED.
- ALL REMAINING ROOFS WILL BE REPLACED.
- GUTTERS AND DOWNSPOUTS WILL BE INSTALLED.
- KEEP WATER OFF OF THE SIDING AND FROM ENTERING THE WALL CAVITY.
- INCREASE ATTIC VENTILATION TO CURRENT ENERGY STANDARDS.
- INCREASE ATTIC INSULATION TO R30.
- 50 YEAR TRANSFERRABLE WARRANTY



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# BALCONY DECKS

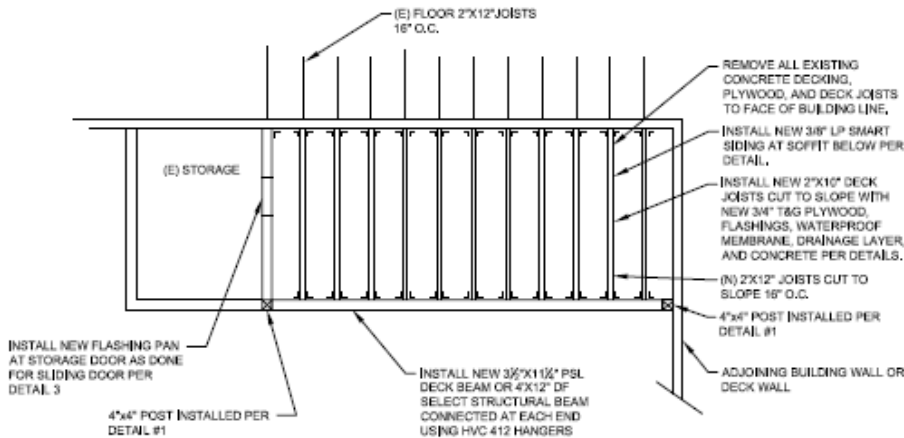


# DECK MATERIAL SELECTIONS

## LONG LASTING DECK COMPONENTS

- New deck structural framing
- New  $\frac{3}{4}$ " T&G plywood installed
- New galvanized deck flashings
- New door flashing at sliding door and utility door
- New HLM 5000 water proofing system
- New Mira Drain 9000 drainage layer
- New concrete protective layer
- New powdered coated steel railing system
- 45 – 50 year life with little maintenance

REVISIONS		
REV	DESCRIPTION	DATE



**7** DECK FRAMING PLAN  
Detail 7 SCALE: NTS

**Gerald Stater & Company Inc**

Residential and Non Residential Energy Consulting  
Construction Management Services

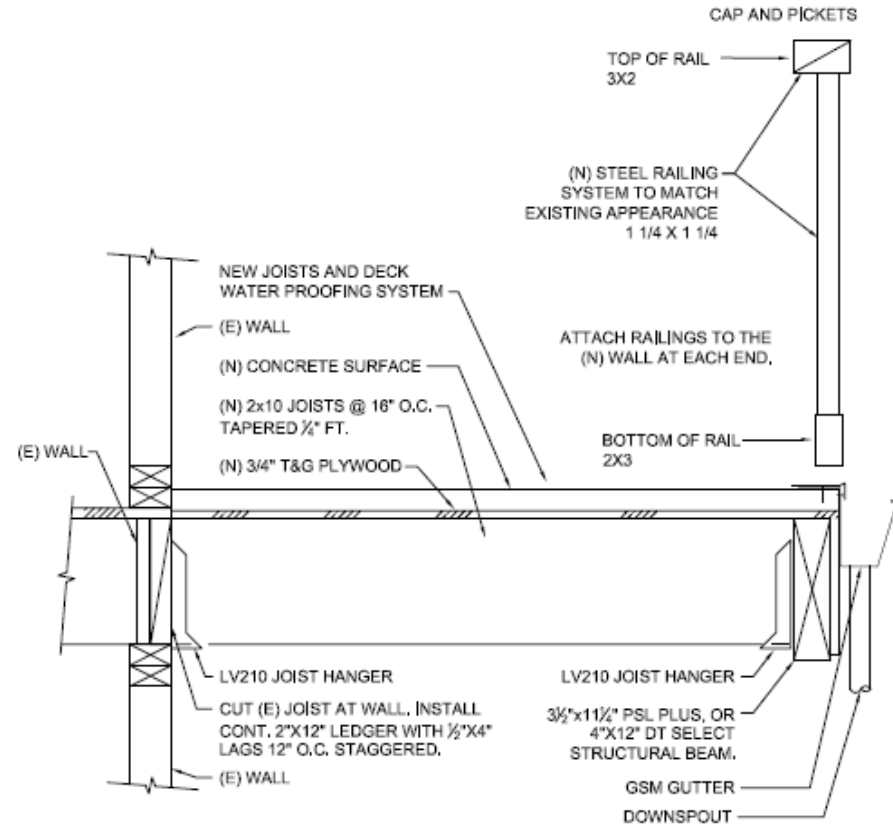


SHEET TITLE: VINTNER DECK DETAILS

PROJECT: Vintner's Home Owner Associations 2012 Deck Repair Project, Alcosta Blvd., CA.

DATE: N/A	PROJECT NUMBER: 11-1027	SHEET: Detail 7 of 9
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REVISIONS		
REV	DESCRIPTION	DATE
1	REVISED DETAIL	3/19/2012



**3** Deck Support Section  
Detail 3 SCALE: NTS

**Gerald Stater & Company Inc**

Residential and Non Residential Energy Consulting  
Construction Management Services



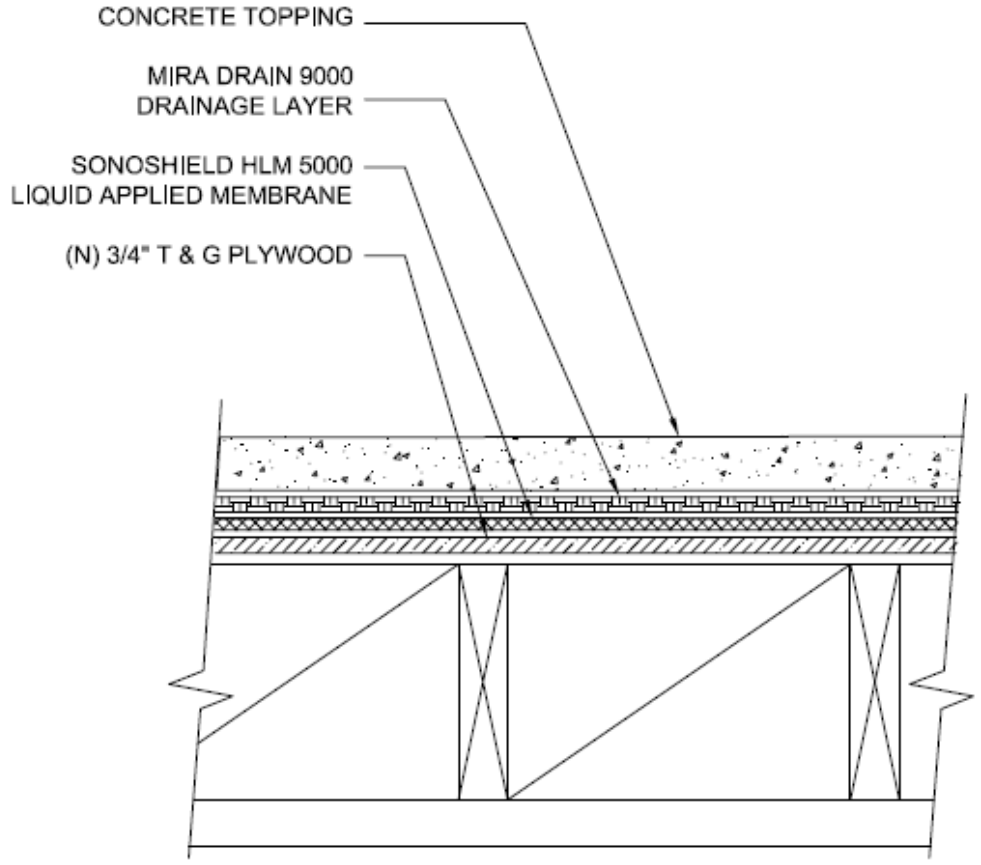
SHEET TITLE: VINTNER DECK DETAILS

PROJECT: Vintner's Home Owner Associations 2012 Deck Repair Project, Alcosta Blvd., CA.

DATE: N/A	PROJECT NUMBER: 11-1027	SHEET: Detail 3 of 9
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REVISIONS		
REV	DESCRIPTION	DATE



**Gerald Stater & Company Inc**  
*Residential and Non Residential Energy Consulting  
 Construction Management Services*



SHEET TITLE: VINTNER DECK DETAILS		
PROJECT: Vintner's Home Owner Associations 2012 Deck Repair Project, Alcosta Blvd, CA.		
DATE: 10-24-13	PROJECT NUMBER: 11-1027	SHEET: Detail 1
SCALE: 1/8" = 1'-0"		OF 1

PRODUCT DATA

7<sup>07 14 00</sup> Fluid-Applied Waterproofing

**SONOSHIELD® HLM 5000®**

Liquid, cold-applied elastomeric waterproofing membrane system

**Description**

HLM 5000® is a one-component, moisture-curing, bitumen-modified polyurethane elastomeric waterproofing membrane for exterior below-grade or between-slab applications. It is available in 4 grades for application by trowel, squeegee, roller and spray.

HLM 5000® comes in a variety of grades for different applications: HLM 5000® SL (self-leveling) is formulated for application by squeegee to horizontal areas.

HLM 5000® T (trowel) is formulated for application by trowel to vertical surfaces.

HLM 5000® S (spray) is a specially formulated version of 5000T for spray application.

HLM 5000® R (roller) is formulated for application by roller to vertical and some horizontal surfaces.

**Yield**

25 – 30 ft<sup>2</sup>/gallon at 55 – 65 wet mils (0.61 – 0.74 mL at 1.4 – 1.7 mm wet thickness)

25 – 30 ft<sup>2</sup>/gallon at 45 – 55 dry mils (0.61 – 0.74 mL at 1.1 – 1.4 mm dry thickness)

Coverage may vary with the application technique used. Actual coverage rate and mil thickness depend on finish and porosity of the substrate.

**Features**

- Standard and high-build systems
- Waterproof
- Elastomeric
- Wide service-temperature range
- Chemical resistant
- Seamless cold-applied membrane
- Asphalt-modified polyurethane

**Benefits**

- Provides specification versatility and extended warranty
- Protects concrete structures from water penetration
- Permits expansion and contraction
- Suitable for all climates
- Resists bacterial attack and many acids, alkalis, and salts
- Eliminates lapping, seaming, and precutting
- Requires no hot-melt equipment

**Packaging**

HLM 5000® SL, HLM 5000® S, and HLM 5000® R: 5 gallon (18.95 L) pails  
55 gallon (208 L) drums; available special order  
HLM 5000® T: 5 gallon (18.95 L) pails

Sonoshield® Reinforcing Fabric: 300 ft by 37-1/2" (91 by 0.9 m) rolls, yielding 937 ft<sup>2</sup> (87 m<sup>2</sup>)

Protection Course II: 50 mil by 40" by 48" (1.3 mm by 1 m by 1.2 m) sheets, 500 per pallet, yielding 13-1/3 ft<sup>2</sup> (1.2 m<sup>2</sup>) per sheet or 6,665 ft<sup>2</sup> (619 m<sup>2</sup>) per pallet.

120 mil (1/8") by 40" by 48" (3 mm by 1 m by 1.2 m) sheets, 500 per pallet, yielding 13-1/3 ft<sup>2</sup> (1.2 m<sup>2</sup>) per sheet or 6,665 ft<sup>2</sup> (619 m<sup>2</sup>) per pallet.

**Color**

Black

**Shelf Life**

6 months when properly stored

**Storage**

Store in unopened containers in clean, dry conditions at 40 to 80° F (4 to 27° C). During storage, an easily removed skin of HLM 5000® may form, which does not affect performance of the product.

**Where to Use**

**APPLICATION**

- Parking garages and concrete tanks
- Plaza decks and malls
- Fountains and pools
- Balconies and planters
- Bridges and highways
- Below-grade slabs
- Walls and culverts
- Sea walls, dams and reservoirs

**LOCATION**

- Exterior below grade (on masonry, concrete, and incidental metal)
- Above grade (between two-course concrete and within cavity walls)

**SUBSTRATE**

- Concrete
- Plywood (exterior)



**CCW MiraDRAIN® 9000**  
Drainage Composite

**DESCRIPTION**

CCW MiraDRAIN 9000 is a high-performance, high-strength drainage composite consisting of a three-dimensional, high-impact polystyrene core, and a woven filter fabric. The filter fabric is bonded to the individual dimples of the molded polystyrene core. The fabric serves as a filter medium to prevent the passage of particles into the core, while allowing surface moisture to pass freely. CCW MiraDRAIN 9000's woven, monofilament fabric withstands high abrasion from applied overburden and prevents intrusion into the drainage core due to its low elongation characteristics. The woven fabric is better suited to receive a directly poured concrete topping than nonwoven geotextile fabrics.

**TYPICAL USES**

CCW MiraDRAIN 9000 is designed for use in horizontal plaza, roof deck and between-slab drainage applications where single-sided subsurface drainage is required.

CCW MiraDRAIN 9000 also serves as a protection course when used in conjunction with CCW Waterproofing Membranes.

**FEATURES AND BENEFITS**

- Manufactured at an ISO 9001:2000 Facility
- Relief of hydrostatic pressure buildup
- Consistent and proven long-term performance due to a multi-directional core configuration providing a uniform flow path for water to escape
- High-flow drainage capacity assuring effective drainage for virtually any horizontal application
- No-clogging drainage performance
- High compressive strength system withstands overburden stresses
- Enhancement of waterproofing system by channeling water away and providing a secondary water retention layer
- Cost-saving, lightweight, easy-to-install panels eliminate the need for bringing aggregate to the construction site

**INSTALLATION**

**GENERAL INFORMATION**

CCW MiraDRAIN prefabricated drainage panels may be installed in a variety of construction applications. They may be installed against split slabs, plaza decks and planters. CCW MiraDRAIN can be cut with a utility knife or scissors. Concrete may be placed directly onto either side of the panels. The panels can terminate at the top of the footing

**TECHNICAL DATA**

PROPERTY	METHOD	UNIT	TYPICAL VALUE
<b>CORE</b>			
Thickness	ASTM D1777	in (mm)	0.40 (10.16)
Compressive Strength	ASTM D1621	psf (kPa)	18,000 (862)
Maximum Flow Rate <sup>1</sup>	ASTM D4716	gpm/ft <sup>2</sup> (l/min/m)	21 (260)
Installed Horizontally <sup>2</sup>	ASTM D4716	gpm/ft <sup>2</sup> (l/min/m)	3.8 (47)
<b>FABRIC (FW402)</b>			
Apparent Opening Size	ASTM D4751	US Std Sieve (mm)	40 (0.42)
Water Flow Rate	ASTM D4491	gpm/ft <sup>2</sup> (l/min/m)	145 (5,907)
Grab Tensile Strength	ASTM D4632	lbs (kN)	365 (1.62)
Grab Longation	ASTM D4632	%	24
Puncture Resistance	ASTM D4833	lbs (kN)	100 (0.44)
<b>SYSTEM</b>			
Performance Index	*		27,198

All flow rates were tested at 3600 psf. <sup>1</sup>Drainage Performance Index is a function of ASTM D4833, D4632 and D1621. <sup>2</sup>In plane flow rate @ gradient of 1.0. <sup>3</sup>Installed flow rate with concrete overburden at horizontal gradient of 0.05

and are flexible enough to form right angles to cover the top of the footing. CCW MiraDRAIN eliminates the need for a protection course over waterproofing systems. Native soils can be used over CCW MiraDRAIN. (Contact your local Carlisle Coatings & Waterproofing representative for specific guidelines).

**UNDERSLAB / HORIZONTAL APPLICATIONS**

**Floor Slabs and Concrete-Lined Channels**

Proper preparation of the subgrade will require grading to a 2% minimum slope. The area of installation should be clear of rubble, rock, large soil clods, etc. Place CCW MiraDRAIN with the fabric side toward the soil. The flange of the second and subsequent panels should be placed over the back side of the preceding dimpled core and butted as close as possible to the preceding panel. The panel joints, longitudinal and transverse on the CCW MiraDRAIN core, should be



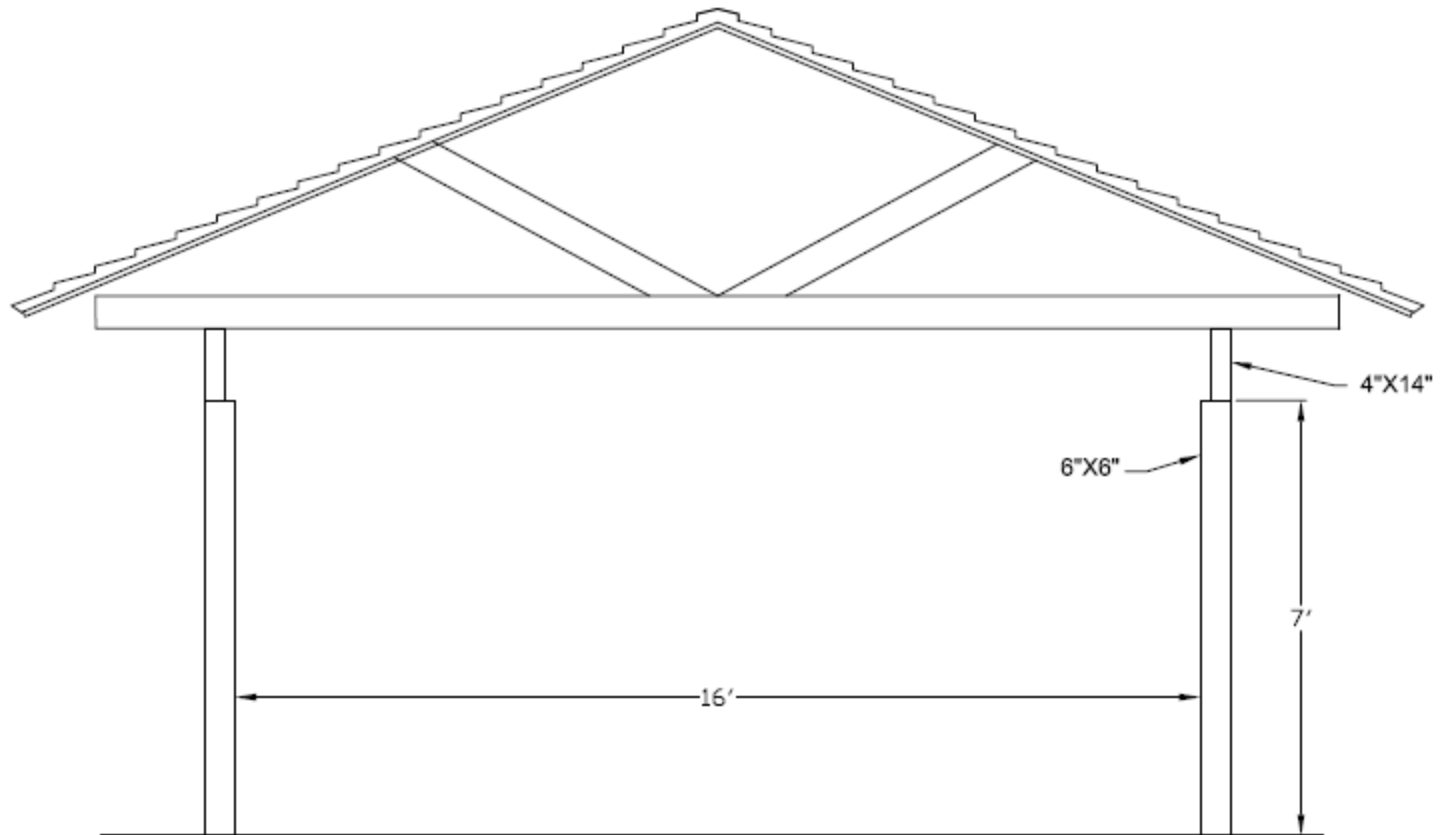
# BALCONY DECKS SUMMARY

- 6 DECKS HAVE BEEN PREVIOUSLY REPLACED
- 18 DECKS HAVE HAD TEMPORARY REPAIRS
- 56 DECKS WILL BE REPLACED INCLUDING THE TEMPORARY REPAIRED DECKS
- NEW DECKS WILL HAVE LONG LASTING DECK SURFACE
- NEW STEEL RAILING WILL BE INSTALLED ON ALL NEW DECKS AND THE PREVIOUSLY REPLACED DECKS
- NEW DECKS WILL HAVE LONG LASTING DECK COMPONENTS

# CARPORTS & VISION SCREENS



# CARPORTS & VISION SCREENS



# CARPORTS & VISION SCREENS



# CARPORTS & VISION SCREENS



# **BIDDING PROCESS PHASE 3**



# SPECIFICATIONS

PROJECT M

**Vintner  
2012 Fe**  
San Ramon



Prepared for:  
Vintner Home  
c/g Willis Mana  
7033 Village P  
Dublin, CA 945

Prepared By:

GSC

Bid Manual

**Vintner  
2012 C:**  
San Ramo



Prepared for  
Vintner Home  
c/g Willis Man  
7033 Village l  
Dublin, CA 94

Prepared By:

GSC

PROJECT M

**Vintner  
2012 As**  
San Ramon



Prepared for:  
Vintner Home  
c/g Willis Mana  
7033 Village P  
Dublin, CA 945

Prepared By:

GSC

PROJECT M

**Vintner  
2012 Ex**  
San Ramon



Prepared for:  
Vintner Home  
c/g Willis Mana  
7033 Village P  
Dublin, CA 945

Prepared By:

GSC

Bid Manual

**Vintner H  
2012 Sidi**  
San Ramon, C



Prepared for:  
Vintners Homeow  
c/g Willis Manage  
7033 Village Park  
Dublin, CA 94568

Prepared By:

GSC

Bid Manual

12/2011

**Vintner Homeowners Association  
2012 Roofing Project**  
San Ramon, California 94568



Prepared for:  
Vintner Homeowners Association  
c/g Willis Management Group  
7033 Village Parkway, Suite 212  
Dublin, CA 94568

Prepared By: **Gerald Stater & Company, Inc.**  
Construction Management  
3806 California Way  
Livermore, California 94550  
Phone 925-337-2203 Fax 925-605-389

GSC

Section 00100-1

VI-12/11

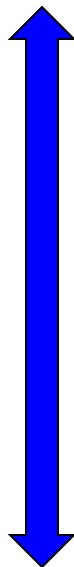
# SUMMARY OF WORK - ROOFING

## 1.02 PROJECT INFORMATION

A. Project Name: Vintner Homeowners Association – 2012 Roof Repair Project

B. Project Description:

1. **Base Bid 1:** The Base Bid scope of work to include complete removal of existing roof shingles and associated metal flashings. Installation of new plywood sheathing, asphalt fiberglass shingles, metal flashing and components thereof, the extent of which is specified herein:
2. The Recreation Building shall include the flat roof area which is to be replaced with a modified Bitumen granular surface.
3. Base Bid includes all 23 residential buildings, all utility sheds, laundry rooms, recreation building and office annex.
4. Several buildings roof area as noted on the site plan are not included in this project.
5. Bid shall include the following work:
  - a. Remove all existing roofing shingles (two layers), roof jacks from existing roof deck complete to existing space sheathing.
  - b. Remove all base flashing, counter flashings, and like components necessary for application of new roof system.
  - c. All perimeter eave and rake edge metal to be removed.
  - d. Existing gutter and downspouts to be removed.
  - e. Install new pre-painted gutters and downspouts.
  - f. Install new Smart Vent at lower roof area to achieve 1/300<sup>th</sup> ventilation area.
  - g. Install new ½" plywood sheathing over existing skip sheathing.
  - h. Install new 2"x8" wood blocking at each wall stud at confined rake walls.
  - i. Installation of new galvanized edge metal at all roof eaves and rake edges.
  - j. Install new roof jacks for all penetrations.
  - k. Install new chimney saddles top and bottom and step shingles.
  - l. Install new 30# underlayment and fasten sufficiently to existing structure.
  - m. Install new Landmark asphalt fiberglass shingles to existing sloped roof deck.
  - n. Install hip ventilation to achieve 1/300<sup>th</sup> ventilation area.
  - o. Install new 24" open valley at all roof valley intersections.
  - p. Install new galvanized flashing and step shingles as necessary.
  - q. Seal around all vent flashing and roof penetrations.
  - r. Removal of all work related debris and leave a clean job site after completion of work.



# BID FORM - ROOFING

**BID FORM**  
**Vintner Homeowners Association**  
**2012 Roofing Project Building**  
 San Ramon, California 94568

Company Name: \_\_\_\_\_

Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Phone #: \_\_\_\_\_ Fax #: \_\_\_\_\_

Addendum's Noted: # \_\_\_\_\_ Date: \_\_\_\_\_  
 # \_\_\_\_\_ Date: \_\_\_\_\_

*We the above present our bid for the work as per the plans and specifications Titled - Vintner Homeowners Association - 2012 Roofing Project Building - San Ramon, California, Bid Manual dated 12/2011. (See Section 01010 - Summary of Work for Package Description.) Additionally we state herein that we have visited the site and familiarized ourselves with site conditions and the work.*

**1. Base Roofing Repair Pricing**

BASE BID 1: - Complete Roof Replacement \$ \_\_\_\_\_

**2. Unit Pricing**

- A. Replacement of single fireplace top & cap (Each) \$ \_\_\_\_\_
- B. Replacement of double fireplace top & cap (Each) \$ \_\_\_\_\_
- C. Replacement of T1-11 plywood siding (32sq/ft) \$ \_\_\_\_\_
- D. Replacement of 2x6 Fascia (Ft) \$ \_\_\_\_\_

**3. Alternate Bids**

ALTERNATE BID 1 - Siding Replacement Confined Rakes \$ \_\_\_\_\_  
 ALTERNATE BID 2 - Siding Replacement Fireplaces \$ \_\_\_\_\_

**4. Labor Rates (per hour, fully loaded w/ OHP)**

Rofer \$ \_\_\_\_\_  
 Carpenter \$ \_\_\_\_\_  
 Sheet Metal Worker \$ \_\_\_\_\_

Total overhead and profit to be added to additional work. \_\_\_\_\_ %  
 (This shall include overhead and profit of any sub-contractors)

Total overhead and profit to be deducted for work deleted. \_\_\_\_\_ %

This bid shall expire **after 90 days from** submission. The Owner reserves the right to accept or reject any or all bids and/or add alternates.

Anticipated Start Date: \_\_\_\_\_

# of Calendar Days Required: \_\_\_\_\_

**We/I have thoroughly reviewed the plans and specifications and submit our bid as included herein.**

Signature \_\_\_\_\_ Title \_\_\_\_\_

Name (typed or printed) \_\_\_\_\_ Date \_\_\_\_\_

Contractor's License# \_\_\_\_\_ Classification(s) \_\_\_\_\_

We have the HOA insurance requirements as specified in Section 00800 Yes \_\_\_\_\_  
 No \_\_\_\_\_

# BID ANALYSIS - ROOFING

## VINTNER HOMEOWNERS ASSOCIATION - 2012 ROOFING BID ANALYSIS

	CONTRACTOR 1	CONTRACTOR 2	CONTRACTOR 3	CONTRACTOR 4	CONTRACTOR 6	CONTRACTOR 7
<b>BASE ROOFING REPAIR PRICING</b>						
BASE BID 1: - COMPLETE ROOF REPLACEMENT	\$ 698,178.00	\$ 699,164.00	\$ 672,950.00	\$ 690,950.00	\$ 629,825.00	\$ 625,000.00
Includes Gutters/Downspouts						
Includes Rec. Bldg. and Annex	\$ 698,178.00	\$ 699,164.00	\$ 672,950.00	\$ 690,950.00	\$ 629,825.00	\$ 625,000.00
<b>UNIT PRICING</b>						
REPLACEMENT OF SINGLE FIREPLACE TOP & CAP (EACH)	\$ 248.00	\$ 490.00	\$ 595.00	\$ 495.00	\$ 250.00	\$ 700.00
REPLACEMENT OF DOUBLE FIREPLACE TOP & CAP (EACH)	\$ 286.00	\$ 490.00	\$ 680.00	\$ 495.00	\$ 450.00	\$ 750.00
REPLACEMENT OF T1-11 PLYWOOD SIDING (32 SQ/FT)	\$ 130.00	\$ 150.00	\$ 121.00	\$ 125.00	\$ 125.00	\$ 237.00
Replacement of 2X6 Fascia (ft)			\$ 10.38	\$ 12.50	\$ 6.00	\$ 9.64
<b>ALTERNATE BIDS</b>						
ALTERNATE BID 1 - Siding Replacement Confined Rakes (Siding Replacement)	\$ 23,259.00	\$ 40,313.00	\$ 15,210.00	\$ 19,225.00	\$ 19,850.00	\$ 25,600.00
ALTERNATE BID 2 - Siding Replacement Fireplaces (Siding Replacement)	\$ 25,400.00	\$ 40,617.00	\$ 49,750.00	\$ 23,500.00	\$ 24,750.00	\$ 98,560.00
	\$ 746,837.00	\$ 780,094.00	\$ 737,910.00	\$ 733,675.00	\$ 674,425.00	\$ 749,160.00
<b>LABOR RATES (FULLY LOADED)</b>						
ROOFER	\$ 60.00	\$ 85.00	\$ 69.00	\$ 74.50	\$ 65.00	\$ 65.00
CARPENTER	\$ 60.00	\$ 90.00	\$ 69.00	\$ 80.00	\$ 55.00	\$ 46.00
SHEET METAL WORKER	\$ 60.00	\$ 85.00	\$ 69.00	\$ 74.50	\$ 65.00	\$ 86.50
<b>TOTAL OVERHEAD &amp; PROFIT</b>						
ADDITIONAL WORK		15.00%	15.00%	20.00%	20.00%	15.00%
DELETED WORK		10.00%	15.00%	15.00%	20.00%	15.00%
# OF CALENDAR DAYS REQUIRED BASE BID 1	84	180	90	60	80	90-120
<b>ESTIMATED COST: \$750,000.00</b>						
<b>All bids will be evaluated to make sure the contractor meets specifications before a selection is made.</b>						

# BID ANALYSIS - ROOFING

## VINTNER HOMEOWNERS ASSOCIATION - 2012 ROOFING BID ANALYSIS

	CONTRACTOR 1	CONTRACTOR 2	CONTRACTOR 3	CONTRACTOR 4
<b>BASE ROOFING REPAIR PRICING</b>				
BASE BID 1: - COMPLETE ROOF REPLACEMENT	\$ 698,178.00	\$ 699,164.00	\$ 672,950.00	\$ 690,950.00
Includes Gutters/Downspouts				
Includes Rec. Bldg. and Annex	\$ 698,178.00	\$ 699,164.00	\$ 672,950.00	\$ 690,950.00
<b>INIT PRICING</b>				
REPLACEMENT OF SINGLE FIREPLACE TOP & CAP (EACH)	\$ 248.00	\$ 490.00	\$ 595.00	\$ 495.00
REPLACEMENT OF DOUBLE FIREPLACE TOP & CAP (EACH)	\$ 286.00	\$ 490.00	\$ 680.00	\$ 495.00
REPLACEMENT OF T1-11 PLYWOOD SIDING (32 SQ/FT)	\$ 130.00	\$ 150.00	\$ 121.00	\$ 125.00
Replacement of 2X6 Fascia (ft)			\$ 10.38	\$ 12.50
<b>ALTERNATE BIDS</b>				
ALTERNATE BID 1 - Siding Replacement Confined Rakes (Siding Replacement)	\$ 23,259.00	\$ 40,313.00	\$ 15,210.00	\$ 19,225.00
ALTERNATE BID 2 - Siding Replacement Fireplaces (Siding Replacement)	\$ 25,400.00	\$ 40,617.00	\$ 49,750.00	\$ 23,500.00
	\$ 746,837.00	\$ 780,094.00	\$ 737,910.00	\$ 733,675.00

# BID ANALYSIS - ROOFING

## VINTNER HOMEOWNERS ASSOCIATION - 2012 ROOFING BID ANALYSIS

	CONTRACTOR 1	CONTRACTOR 2	CONTRACTOR 3	CONTRACTOR 4
<b>LABOR RATES (FULLY LOADED)</b>				
ROOFER	\$ 60.00	\$ 85.00	\$ 69.00	\$ 74.50
CARPENTER	\$ 60.00	\$ 90.00	\$ 69.00	\$ 80.00
SHEET METAL WORKER	\$ 60.00	\$ 85.00	\$ 69.00	\$ 74.50
<b>TOTAL OVERHEAD &amp; PROFIT</b>				
ADDITIONAL WORK		15.00%	15.00%	20.00%
DELETED WORK		10.00%	15.00%	15.00%
# OF CALENDAR DAYS REQUIRED BASE BID 1	84	180	90	60

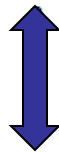
# SUMMARY OF WORK – SIDING/DECKS

## 1.02 PROJECT INFORMATION

A. Project Name: Vintner Homeowners Association – 2012 Siding & Deck Repair Project

B. Project Description:

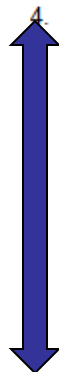
1. **Base Bid 1:** The Base Bid scope of work to include replacement of siding, trim and fascia as detailed in the Siding & Trim Matrix Manual.



Bid shall include the following work:

- a. Remove all existing siding as detailed in the Siding & Trim Matrix Manual.
- b. Installation of all building paper and moisture stop as detailed.
- c. Installation of all flashing as required for proper installation.
- d. Pre prime all materials on all 6 sides prior to installation.
- e. Removal of all work related debris and leave a clean job site after completion of work.

3. **Base Bid 2:** The Base Bid scope of work to include replacement of balcony decks, deck framing, deck coating and deck rails as detailed.

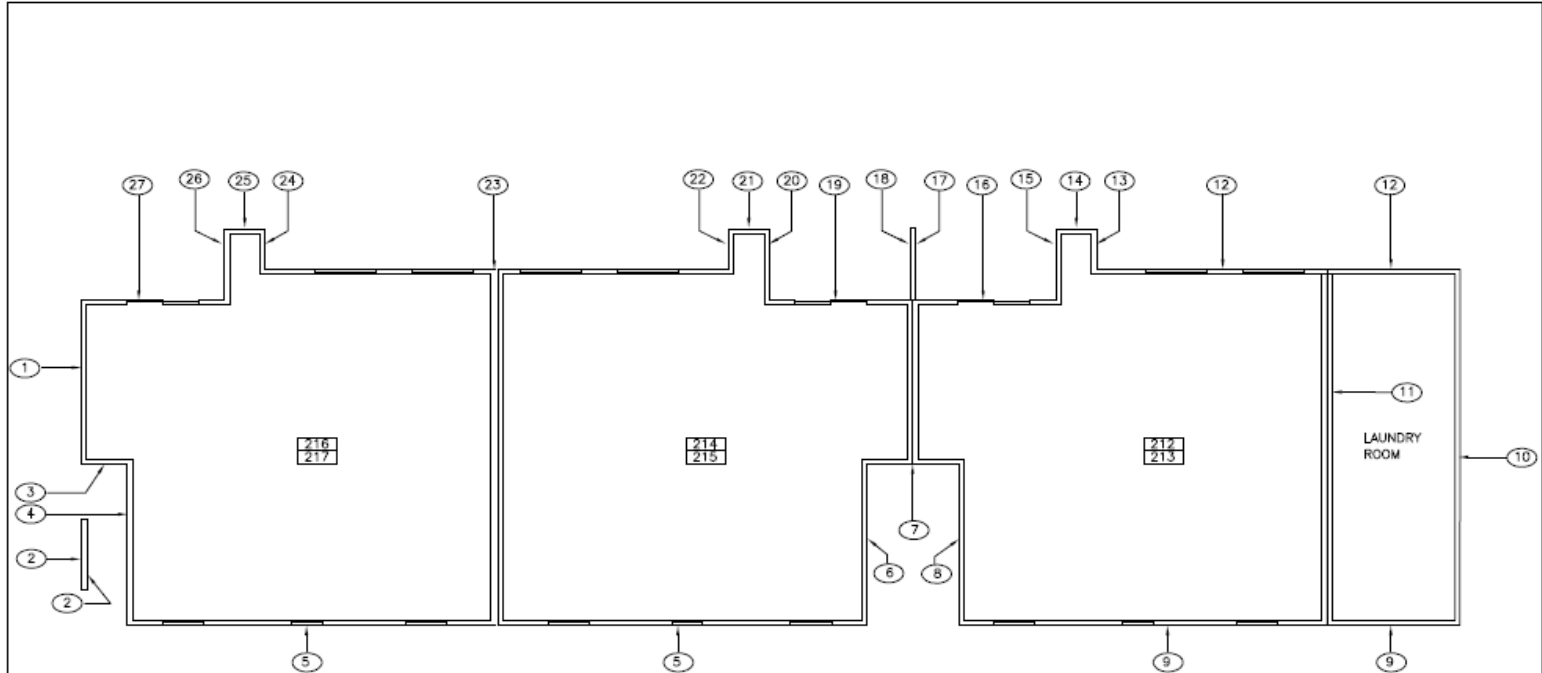


4. Bid shall include the following work:

- a. Remove all existing balcony decks as detailed.
- b. Installation of new post footing as detailed.
- c. Installation of all new deck framing and deck beams as detailed.
- d. Installation of all structural brackets as shown and required for code compliance.
- e. Installation of all flashing as required for proper installation.
- f. Installation of new water proof membrane system as using Sonosshield HLM 5000 with reinforcing fabric.
- g. Water test all decks prior to installing drainage layer and concrete slab.
- h. Installation of new drainage layer using Mira Drain 9000
- i. Installation of a new concrete deck surface with edge flashing.
- j. Installation of new deck rail system as detailed.
- k. Prime all exposed surfaces on all 6 sides prior to installation.
- l. Removal of all work related debris and leave a clean job site after completion of work.

5. **Alternate 1:** Install the Conipur 295 Traffic Deck Coating System instead of the concrete, Mira Drain 9000 and HLM 5000 Water Proofing System.

# DEFINED SCOPE OF REPAIRS



BUILDING P

REV	DESCRIPTION	DATE

**Gerold Stater & Company Inc**

Residential and Non Residential Energy Consulting  
Construction Management Services



SHEET TITLE: <b>BUILDING P SIDING MATRIX</b>			
PROJECT: <b>Vintner's Home Owner Associations 2012 Siding Project, Alcosta Blvd, Ca.</b>			
DATE: <b>01-04-12</b>	SCALE: <b>NA</b>	PROJECT#: <b>11-1027</b>	SHEET: <b>BLD P</b> or 1 sheets



# DEFINED SCOPE OF REPAIRS

## BUILDING P

LEFT ORIENTATION					RIGHT ORIENTATION				
PLAN 1	1st Floor - 215		2nd Floor - 214		PLAN 1	1st Floor - 213		2nd Floor - 212	
	Total	F	Total	F		Total	F	Total	F
<b>Elevation 1 - Front</b>					<b>Elevation 1 - Front</b>				
Wall 5 (35')					Wall 7 - End				
Siding - T111	280	280	280		Siding - T111	32		32	
Siding - T111 Mid Level	70	70			Trim 1x3 - Corner	9		9	
Trim1x3 - Corner	10	10	9	9	Wall 8 Entry (17')				
Trim1x2 - Window Trim	22	22	22	22	Siding - T111	136		136	
Trim1x2 - Window Trim	11	11	11	11	Siding - T111 Mid Level	32			
Trim1x2 - Window Trim	22	22	22	22	Trim 1x3 - Corner	10		9	
Trim1x3 - Corner	9	9	9	9	Door Trim 1x4	18		18	
Facia 2x6			43		Front Entry Door	1		1	
Wall 6 Entry (17')					Wall 9 (35')				
Siding - T111	136		136		Siding - T111	280	280	280	280
Siding - T111 Mid Level	34				Siding - T111 Mid Level	70	70		
Trim 1x3 - Corner	10		9		Trim1x3 - Corner	10	10	9	8
Wall 7 - End					Trim1x2 - Window Trim	22	22	22	22
Siding - T111	32		32		Trim1x2 - Window Trim	11	11	11	11
Trim 1x3 - Corner	9		9		Trim1x2 - Window Trim	22	22	22	22
Door Trim 1x4	18		18		Trim1x3 - Corner	9		10	10
Front Entry Door	1		1		Facia 2x6			43	43
					Wall 9 (13') Laundry Room				
					Siding - T111	104	104		
					Trim 1x3 - Corner	9	9		
					Facia 2x6	13	13		
					<b>Elevation 2 - Side</b>				
					Wall 10 (35') Laundry Room				
					Siding - T111	280	280		
					Trim 1x3 - Corner	20	20		
					Trim1x2 - Window Trim	12	12		
					Trim1x2 - Window Trim	12	12		
					Trim1x2 - Window Trim	28	28		
					Trim1x2 - Window Trim	28	28		
					Trim1x3 - Door Trim	22	22		
					Trim1x3 - Door Trim	22	22		
					Wall 10 (35') Laundry Room Gable End				
					Siding - T111	160	160		

# BID ANALYSIS – Siding/Decks

## VINTNER HOMEOWNERS ASSOCIATION - 2012 SIDING REPLACEMENT AND DECK REPLACEMENT BID ANALYSIS

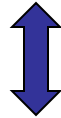
	CONTRACTOR 1	CONTRACTOR 2	CONTRACTOR 3	CONTRACTOR 4	CONTRACTOR 5	CONTRACTOR 6
<b>BASE PAINTING PRICING</b>						
BASE BID 1: - Siding and Trim Replacement	\$ 315,462.00	\$ 650,330.00	\$ 444,894.00	\$ 302,424.00	\$ 233,530.00	\$ 360,218.84
BASE BID 2: Balcony Deck Replacement	\$ 477,372.00	\$ 553,700.00	\$ 444,121.00	\$ 403,503.00	\$ 402,778.00	\$ 498,714.90
BASE BID 3: Siding and Deck Replacement	\$ 752,669.00	\$ 1,204,030.00	\$ 889,015.00	\$ 705,927.00	\$ 620,787.00	\$ 858,932.74
<b>UNIT PRICING</b>						
Replacement of siding Panel	\$ 206.00	\$ 277.21	\$ 332.00	\$ 237.00	\$ 165.00	\$ 210.00
Replacement of 1x3 Trim	\$ 3.99	\$ 9.00	\$ 10.00	\$ 5.06	\$ 5.25	\$ 5.00
Replacement of 1x6 Trim	\$ 4.67	\$ 9.75	\$ 12.00	\$ 6.33	\$ 6.85	\$ 5.79
Replacement of 2x6 Fascia	\$ 7.76	\$ 30.00	\$ 14.00	\$ 9.64	\$ 9.30	\$ 20.00
Replacement of Standard Utility Door	\$ 546.00	\$ 365.00	\$ 1,254.00	\$ 765.00	\$ 490.00	\$ 813.80
Replacement of Non Standard Utility Door	\$ 646.00	\$ 390.00	\$ 1,492.00	\$ 834.00	\$ 585.00	\$ 902.20
Installation of Window Head Flashing	\$ 65.00	\$ 25.00	\$ 88.00	\$ 83.21	\$ 89.00	\$ 85.00
<b>ALTERNATE BIDS</b>						
ALTERNATE 1 (Traffic Deck Coating)	\$ (18,587.00)	\$ (187,750.00)	\$ (42,350.00)	\$ (60,540.00)	\$ (52,140.00)	\$ (65,131.20)
ALTERNATE 2 (Wood Handrails)	\$ (5,095.00)	\$ (9,050.00)	\$ (14,680.00)	\$ (8,040.00)	\$ (26,125.00)	\$ (16,618.00)
<b>LABOR RATES (FULLY LOADED)</b>						
FOREMAN	\$ 52.00	\$ 85.00	\$ 70.00	\$ 65.00	\$ 69.00	\$ 84.50
CARPENTER	\$ 47.00	\$ 77.00	\$ 57.00	\$ 46.00	\$ 52.00	\$ 65.00
DECK COATER	\$ 75.00	\$ 74.50	\$ 90.00	\$ 46.00	\$ 55.00	\$ 58.50
PAINTER	\$ 32.00	\$ 74.50	\$ 64.00	\$ 43.00	\$ 50.00	\$ 52.00
CONCRETE	\$ 45.00	\$ 77.00	\$ 64.00	\$ 46.00	\$ 55.00	\$ 65.00
<b>TOTAL OVERHEAD &amp; PROFIT</b>						
ADDITIONAL WORK	18.00%	20.00%	15.00%	15.00%	15.00%	25.00%
DELETED WORK	12.00%	20.00%	5.00%	15.00%	10.00%	15.00%
# OF CALENDAR DAYS REQUIRED BASE BID 1	252	210	150	150-180	180	180

# SUMMARY OF WORK - PAINTING

## 1.02 PROJECT INFORMATION

A. Project Name: Vintner Homeowners Association - 2012 Exterior Painting Project

B. Project Description:



1. The work and components thereof, the extent of which is defined in the painting section of the specifications herein include, but are not limited to, the following:
2. Painting of all exposed surfaces, including wood, steel and cement as noted in the check list if Section 9900.

## 1.03 CONTRACTOR USE OF PREMISES

A. Limit use of premises for work and for construction operations to allow for Owner occupancy and public access.

1. Obtain written permission from the Owner in advance of any of the Contractor's /Subcontractor's personnel working or having cause to be on the premises beyond normal working hours of 8:00 am to 5:00 PM. Monday through Friday.
2. Contractor shall respect the serenity of the site and limit any unnecessary noise, no radios will be allowed on site.

B. The Contractor shall provide timely notice to the Construction Manager of the planned use of the premises.

1. Provide timely notice to the Construction Manager of access requirements.
2. Provide written schedules and updates to facilitate the notification process.

C. Based on Contractor supplied and Owner approved schedules, the Construction Manager shall notify tenants as follows:

1. 7 days prior to scheduled work to start.
2. Provide notice 72 hours prior to any planned access.

F. Use only authorized access to existing building, do not block or interfere with the traffic or parking facilities, except as authorized in writing by the Owner.

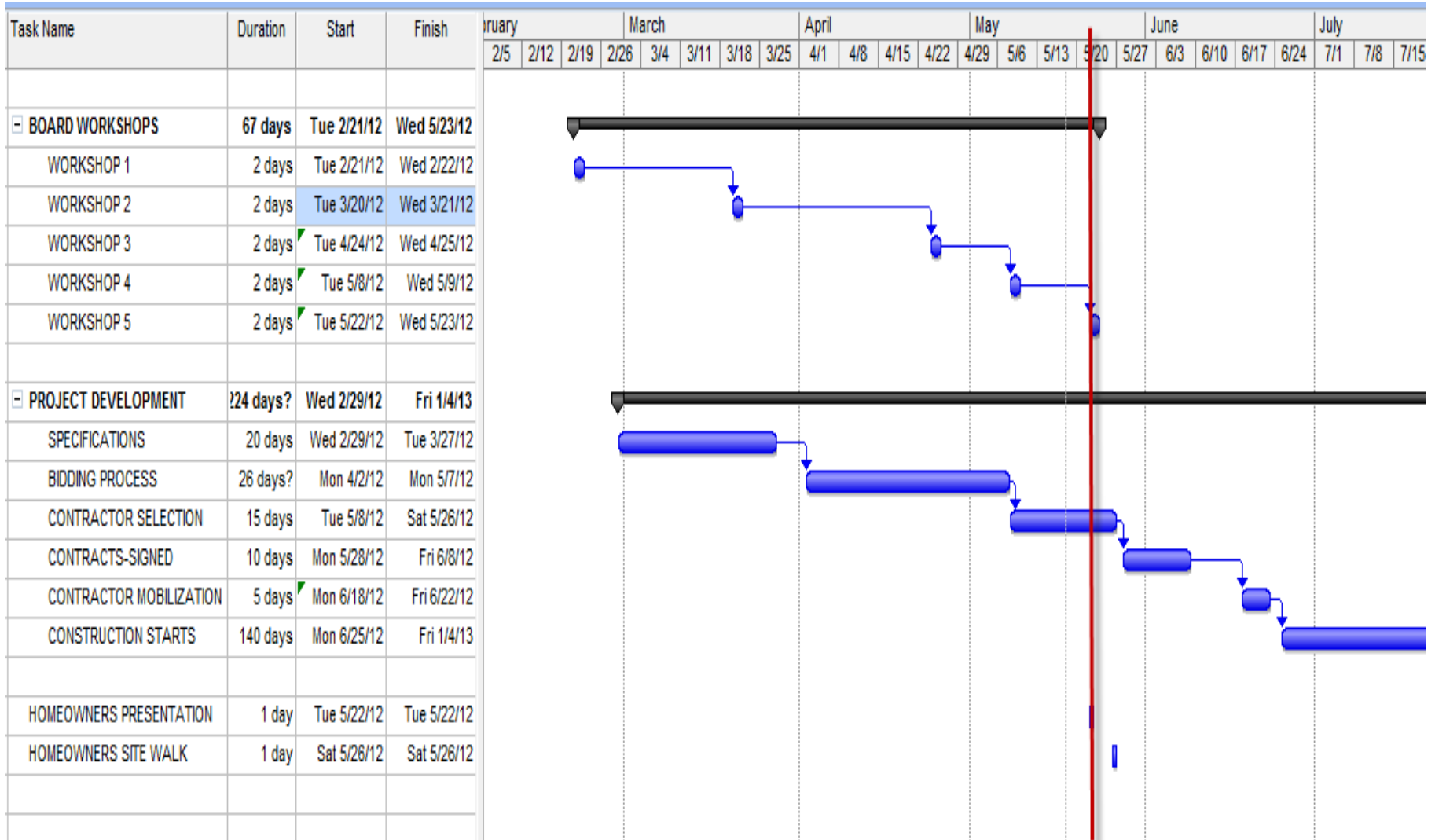
# BID ANALYSIS - Painting

VINTNER HOMEOWNERS ASSOCIATION - 2012 PAINTING BID ANALYSIS					
	CONTRACTOR 1	CONTRACTOR 2	CONTRACTOR 3	CONTRACTOR 4	CONTRACTOR 5
<b>BASE PAINTING PRICING</b>					
BASE BID 1: - PAINTING OF ALL EXTERIOR SURFACES PER SPECIFICATIONS	\$ 210,385.00	\$ 219,500.00	\$ 178,325.00	\$ 198,000.00	\$ 169,215.00
(2 coats)			(No Bid Form Submitted)		
	\$ 210,385.00	\$ 219,500.00	\$ 178,325.00	\$ 198,000.00	\$ 169,215.00
<b>ALTERNATE BIDS</b>					
ALTERNATE BID 1 -Apply an additional coat of 285 Kel Bond Ultra (150 sq/ft per gallon) to 30,000 sq/ft	\$ 28,436.00	\$ 14,500.00	\$ 15,675.00	\$ 25,850.00	\$ 7,600.00
<b>LABOR RATES (FULLY LOADED)</b>					
FOREMAN	\$ 62.00	\$ 65.00	\$ 55.00	\$ 65.00	\$ 50.00
CARPENTER	\$ 54.00	\$ 55.00	\$ 55.00	n/a	\$ 46.00
PAINTER	\$ 49.50	\$ 45.00	\$ 55.00	\$ 45.00	\$ 43.00
<b>TOTAL OVERHEAD &amp; PROFIT</b>					
ADDITIONAL WORK	20.00%	20.00%	Not Submitted	25.00%	15.00%
DELETED WORK	10.00%	17.00%	Not Submitted		15.00%
# OF CALENDAR DAYS REQUIRED BASE BID 1	120	55	Not Submitted	90	90-120
<b>ESTIMATED COST: \$216,866.00</b>					
<b>All bids will be evaluated to make sure the contractor meets specifications before a selection is made.</b>					

**ESTIMATED BUDGET/BIDS RECEIVED**

1	RECONSTRUCTION PROJECT	PRELIMINARY BUDGET	BIDS RECEIVED	ESTIMATED COST
2	ROOF REPLACEMENT	\$ 700,000.00	\$ 703,000.00	
3	GUTTERS/DOWNSPOUTS	\$ 100,000.00	INCLUDED	
4	PGE REBATE		\$ (18,000.00)	
5	SIDING REPLACEMENT	\$ 700,000.00	\$ 999,465.00	
6	BALCONY REPLACEMENT	\$ 600,000.00	INCLUDED	
7	ADDITIONAL RAILS		\$ 7,200.00	
8	PAINTING	\$ 245,000.00	\$ 178,000.00	
9	KELBOND PAINTING 10,000 SQ/FT		\$ 16,000.00	
10	ASPHALT	\$ 128,000.00	\$ 136,640.00	
11	FENCE REPLACEMENT	\$ 95,000.00	\$ 85,137.00	
12	POOL RENOVATION	\$ 95,000.00		\$ 90,000.00
13	CARPORT REPLACEMENT	\$ 225,000.00		\$ 176,000.00
14	DEMOLITION	\$ -		\$ 25,000.00
15	ELECTRICAL	\$ -		\$ 30,000.00
16	LIGHTING	\$ 40,000.00		\$ 20,000.00
17	LATTICE	\$ 33,000.00		\$ 30,000.00
18	CLUB HOUSE RENOVATION	\$ 95,000.00		\$ 74,000.00
19	<b>SUB TOTAL</b>	<b>\$ 3,056,000.00</b>	<b>\$ 2,107,442.00</b>	<b>\$ 445,000.00</b>
20	CONTINGENCY		\$	250,000.00
21	PERMITS, CM, ENGINEERING, ADMINISTRATIVE, 8%		\$	252,000.00
22	<b>TOTAL RECONSTRUCTION</b>	<b>\$ 3,056,000.00</b>	<b>\$</b>	<b>3,055,442.00</b>
23	<b>ADDITIONAL RESERVE ITEMS</b>			
24	LIGHTING - BUILDING EXTERIORS	\$ 24,856.00		\$ 24,856.00
25	SITE DRAINAGE/LANDSCAPE RENOVATIONS	\$ 50,000.00		\$ 50,000.00
26	TREE TRIMMING	\$ 25,625.00		\$ 25,625.00
27	CONCRETE DRIVES	\$ 17,490.00		\$ 17,490.00
28	TRELLIS RENOVATION	\$ 27,000.00		\$ 27,000.00
29		\$ 144,971.00		\$ 144,971.00
30		\$ 3,200,971.00	\$	3,200,413.00

# PROJECT SCHEDULE



# **HOMEOWNER'S NOTIFICATIONS**

- **PROJECT SCHEDULE WILL BE POSTED AT SITE OFFICE**
- **3 DAY AND 10 NOTIFICATIONS TO HOMEOWNERS PRIOR TO THE START OF CONSTRUCTION**
- **SPECIFIC INSTRUCTIONS WILL BE GIVEN FOR EACH PHASE OF CONSTRUCTION DETAILING HOMEOWNER'S RESPONSIBILITIES**
- **ALL QUESTIONS SHOULD BE DIRECTED TO THE CONSTRUCTION MANAGER**



VINTNER  
HOMEOWNERS ASSOCIATION

DATE: JUNE 1, 2012  
TO: HOME OWNER  
FROM: JERRY STATER, CONSTRUCTION MANAGER  
RE: **10 DAY CONSTRUCTION NOTICE**

2012 REPAIR/RENOVATION PROJECT

The purpose of this notice is to notify you that the renovation project is scheduled to begin on your Unit on \_\_\_\_\_.

**Phase 1:** The Phase 1 work will include siding and trim replacement and the balcony deck replacement. Your patio and deck areas will need to be clear so the construction crew can perform their work. **This work will last approximately 2 weeks.**

**Phase 2:** The Phase 2 work will include the renovation of the roofs and the installation of gutters and downspouts. **This work will last approximately 1 week.**

**Phase 3:** The Phase 3 work will include the replacement of the patio fencing and the painting of all previously painted surfaces on the building. **This work will last approximately 1 week.**

You will be given detailed instructions for each phase of renovation. The Vintner Homeowners Association and Gerald Stater Company will work closely with each homeowner that is affected by this project.

If you have any questions, please contact me at (925) 337-2203.  
Thank you.



***Gerald Stater & Company Inc***

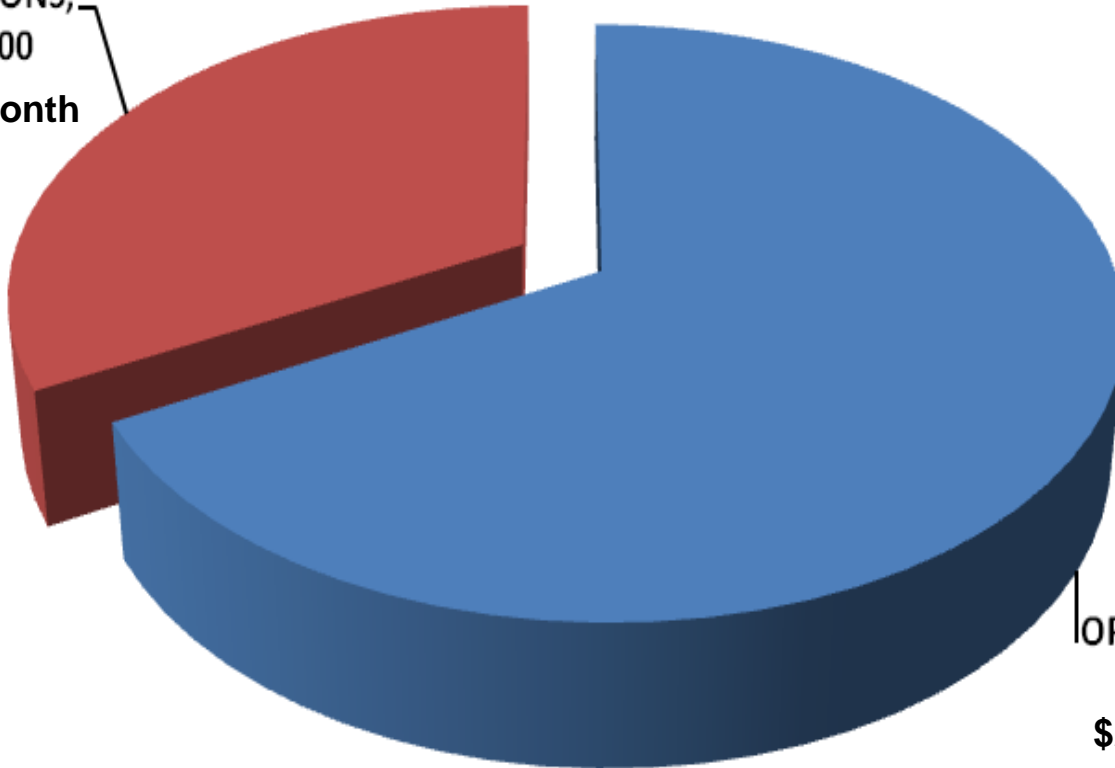
3806 California Way, Livermore, California 94550  
(925) 337-2203 - Fax (925) 605-3898



**FINANICAL DEVELOPMENT  
PROCESS  
PHASE 4**

# CURRENT DUES

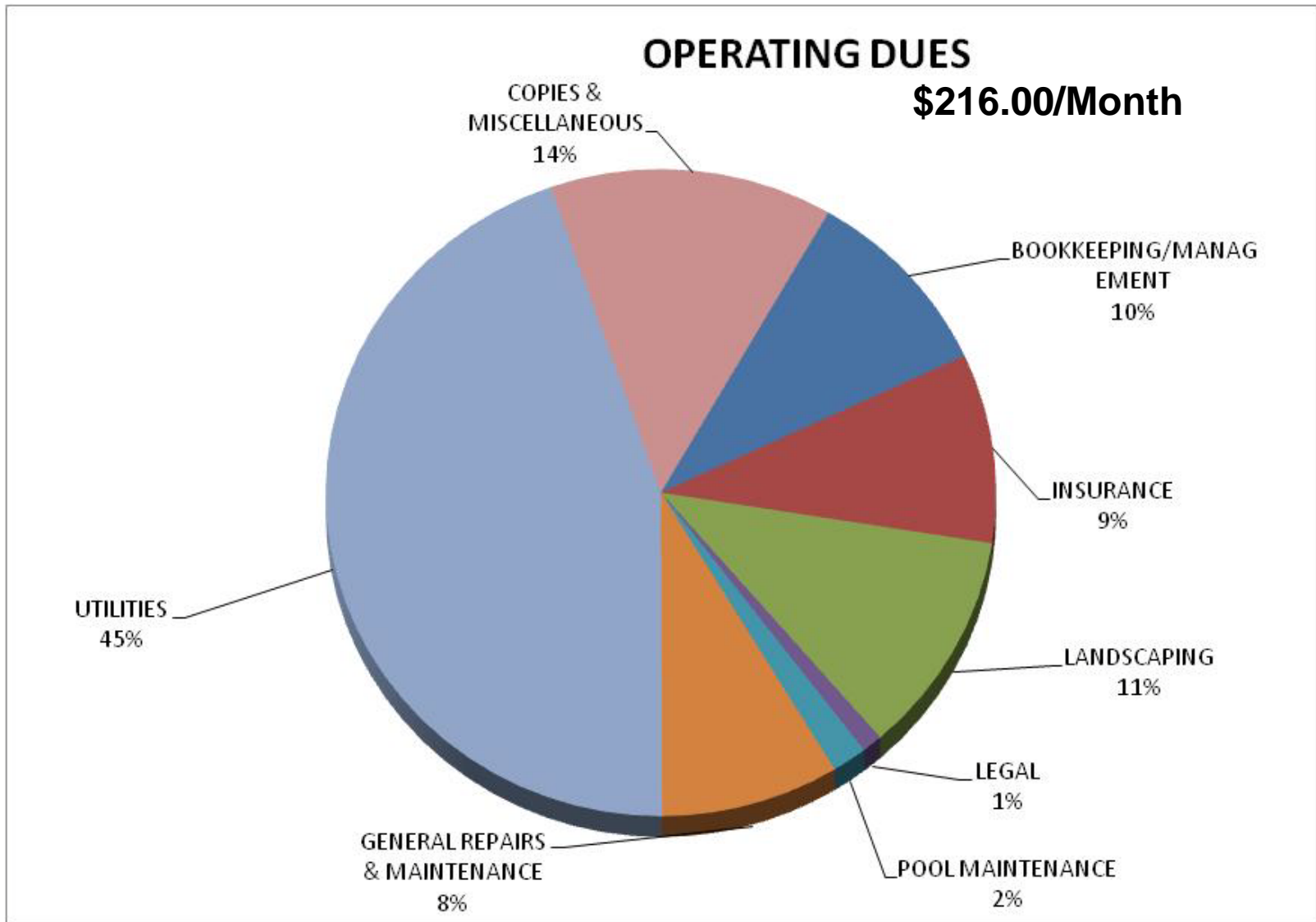
RESERVE  
CONTRIBUTIONS,  
\$209,964.00  
\$106.00/ Month



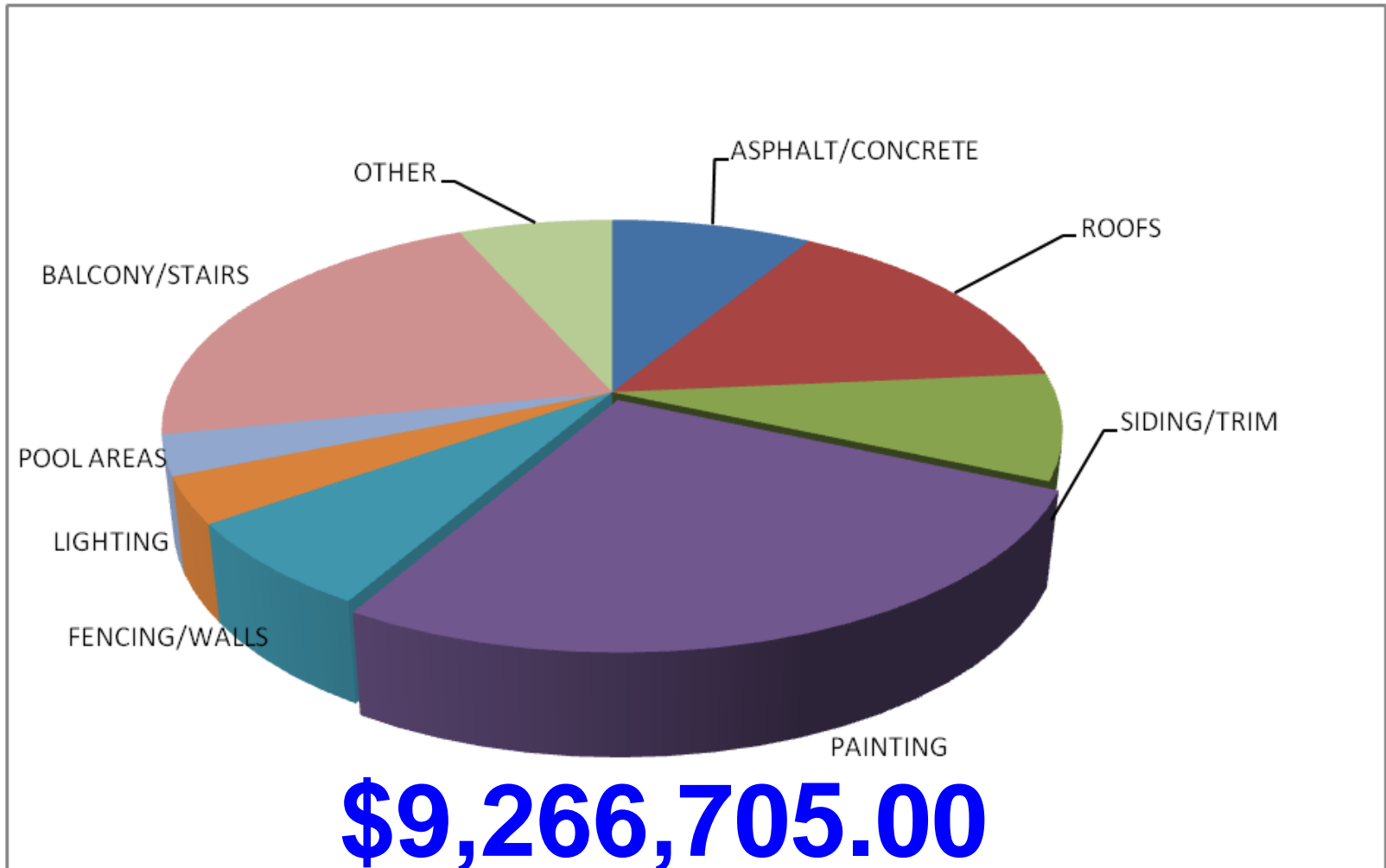
OPERATING DUES,  
\$427,560.00  
\$216.00/ Month

TYPICAL AVERAGE COST OF DUES

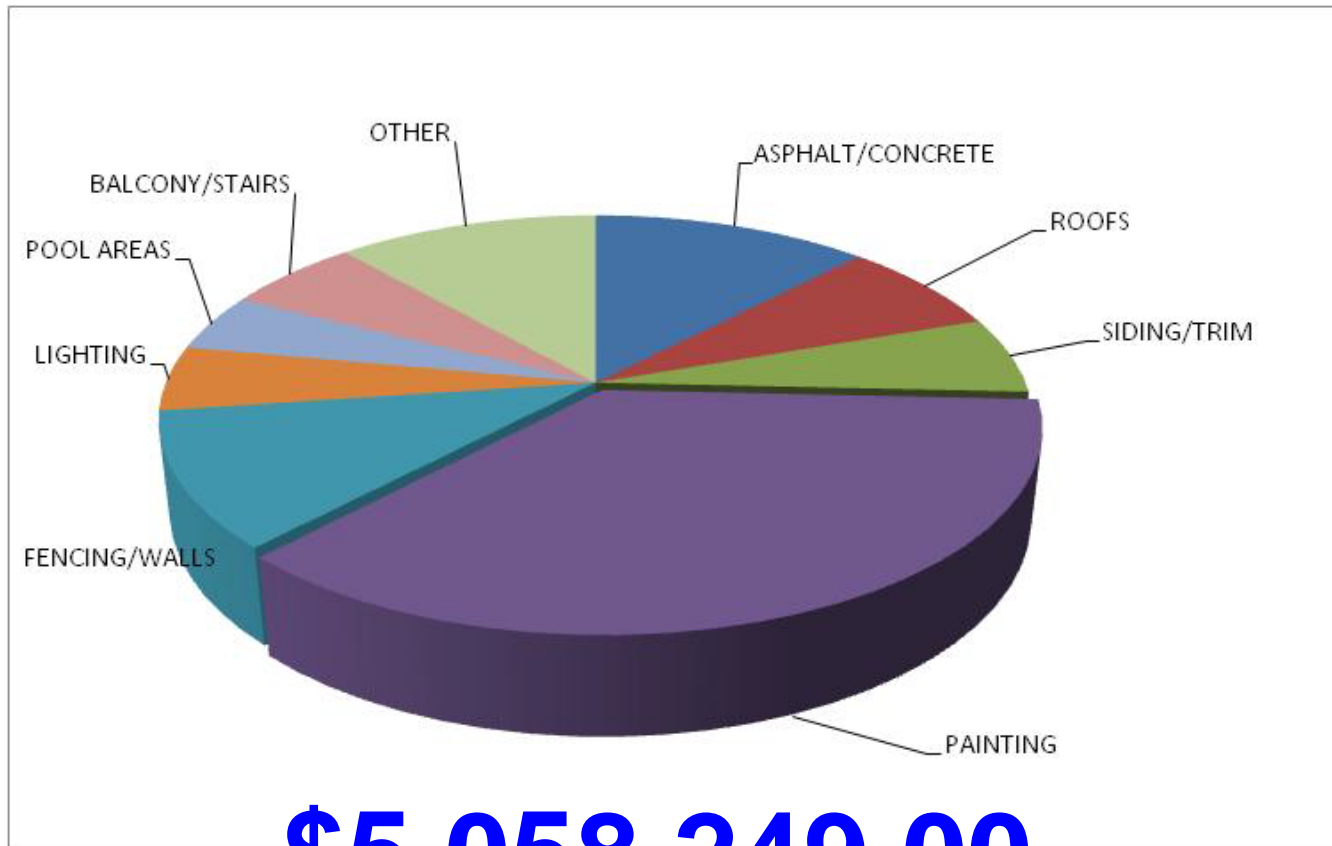
# OPERATING DUES PROFILE



# RESERVE EXPENSES 30 YEARS



# RESERVE EXPENSES 30 YEARS AFTER RENOVATION



**\$5,058,249.00**

# FUNDING OPTIONS

- Special Assessment
- Defer the Maintenance
- Emergency Assessment
- HOA Community Loan
- Combination of Loan & Special Assessment

# SPECIAL ASSESSMENT

- Approximately **\$19,000.00** per Homeowner
- Requires a Homeowner voting process
- Potential delay of project start
- Delays would increase construction costs
- Future dues may only be reduced by a small amount

# DEFER MAINTENANCE

- Wait until Reserve Funding is available
- Reserve Funding thru **20%** increase in dues per year
- Increased Costs for Material and Labor
- Increased Scope of Maintenance Repairs
- Disclosure to Potential Buyers
- Risk further interior damage and homeowner dissatisfaction
- **Risk possible Emergency Assessment**



# HOA COMMUNITY LOAN

- 15 Year HOA Community Loan
- 5% Fixed Interest Rate for 5 years
- 5 year adjustments based on CMT Rates
- No Prepayment Penalty
- No Property Lien on Homes due to the Loan
- Debt Repayment thru the Regular Dues
- Allows Association to take advantage of Competitive Market Place

# 10 YEAR DUES PROFILE

## PREVIOUS – MONTHLY DUES

A	B	C	D	E	F	G	H	I	J	K	L
	BUDGET	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast
	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021
<b>HOA Dues - ADVERAGE</b>	\$322	\$329	\$340	\$349	\$360	\$370	\$381	\$392	\$404	\$415	\$427
HOA Dues Increase %		3.5%	4.5%	4.3%	4.3%	4.3%	4.3%	4.3%	4.3%	4.3%	4.3%
<b>HOA Dues Increase - ANTICIPATED</b>		\$7	\$10	\$10	\$10	\$10	\$11	\$11	\$11	\$12	\$12
Operating Dues	\$ 216	\$222	\$229	\$236	\$243	\$250	\$258	\$266	\$274	\$282	\$290
Operating Dues Increase		\$6	\$7	\$7	\$7	\$7	\$8	\$8	\$8	\$8	\$8
HOA Reserve Dues	\$ 106	\$ 107	\$ 110	\$ 113	\$ 117	\$ 120	\$ 123	\$ 126	\$ 130	\$ 133	\$ 137
<b>HOA Reserve Dues Increase</b>		\$1	\$3	\$3	\$3	\$3	\$3	\$3	\$3	\$4	\$4
Revenues - reg. assessments	209,880	211,860	218,542	224,551	230,727	237,072	243,591	250,290	257,173	264,245	271,512
Interest income 1.25%		4,725	6,459	8,821	11,298	10,755	(415)	2,478	5,066	7,178	9,887
<b>Total Income</b>	<b>209,880</b>	<b>216,585</b>	<b>225,001</b>	<b>233,372</b>	<b>242,025</b>	<b>247,827</b>	<b>243,176</b>	<b>252,768</b>	<b>262,239</b>	<b>271,423</b>	<b>281,399</b>
<b>Special Assessments</b>	<b>1,800,000</b>										
<b>Reserve Expenses</b>	<b>1,848,773</b>	<b>77,823</b>	<b>36,089</b>	<b>35,213</b>	<b>285,446</b>	<b>1,141,403</b>	<b>11,713</b>	<b>45,764</b>	<b>93,247</b>	<b>54,723</b>	<b>560,699</b>
<b>Ending cash balance</b>	<b>377,975</b>	<b>516,737</b>	<b>705,649</b>	<b>903,808</b>	<b>860,387</b>	<b>(33,190)</b>	<b>198,274</b>	<b>405,278</b>	<b>574,270</b>	<b>790,970</b>	<b>511,670</b>

**\$1,800,000.00 SPECIAL ASSESSMENT - \$10,000.00 PER UNIT**  
**ASPHALT REPAIRS DELAYED UNTIL 2015**  
**ROOFING REPAIRS DELAYED UNTIL 2015**  
**POOL DECK RENOVATION DELAYED UNTIL 2015**

# 10 YEAR DUES PROFILE

## PROPOSED – MONTHLY DUES

	A	B	C	D	E	F	G	H	I	J	K	L
		BUDGET	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast
	Fiscal Year July 1 - June 30	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021
3	<b>HOA Dues - AVERAGE</b>	\$322	\$333	\$350	\$367	\$385	\$405	\$425	\$442	\$460	\$478	\$497
4	HOA Dues Increase %		4%	5%	5%	5%	5%	5%	4%	4%	4%	4%
5	<b>HOA Dues Increase - ANTICIPATED</b>		\$11	\$17	\$17	\$18	\$19	\$20	\$17	\$18	\$18	\$19
6	Operating Dues	\$ 216	\$213	\$219	\$226	\$233	\$240	\$247	\$254	\$262	\$270	\$278
7	<b>Operating Dues Increase</b>		-\$3	\$6	\$7	\$7	\$7	\$7	\$7	\$8	\$8	\$8
8	HOA Reserve Dues	106	120	130	141	153	165	178	188	198	208	219
9	<b>HOA Reserve Dues Increase</b>		\$14	\$10	\$11	\$12	\$12	\$13	\$10	\$10	\$11	\$11
9	Reserve Revenue - reg. assessments	209,880	237,600	257,915	279,498	302,422	326,760	352,591	371,584	391,483	412,329	434,165
10	Interest income 1.25%		3,736	6,520	5,466	4,439	4,331	3,512	3,178	3,212	744	1,278
11	Other Income	0	0	0	0	0	0	0	0	0	0	0
12	<b>Total Reserve Income</b>	<b>209,880</b>	<b>241,336</b>	<b>264,435</b>	<b>284,965</b>	<b>306,861</b>	<b>331,091</b>	<b>356,103</b>	<b>374,762</b>	<b>394,695</b>	<b>413,073</b>	<b>435,443</b>
13	<b>Loan Repayment Amount Required</b>		84,000	303,665	303,665	303,665	303,665	303,665	303,665	303,665	303,665	303,665
14	Funds from Reserve Dues (Interest not Included)		84,000	257,915	279,498	302,422	303,665	303,665	303,665	303,665	303,665	303,665
15	Funds from Reserve Cash to Loan Repayment			-45,750	-24,166	-1,243	0	0	0	0	0	0
	Funds into Reserve Cash Funding		157,336				27,426	52,438	71,097	91,030	109,409	131,778
16												
28	<b>RESERVE EXPENDITURES</b>	<b>163,560</b>	<b>3,153,613</b>	<b>45,040</b>	<b>63,466</b>	<b>11,865</b>	<b>92,943</b>	<b>79,155</b>	<b>68,382</b>	<b>288,472</b>	<b>66,671</b>	<b>171,546</b>
29	<b>ENDING RESERVE CASH BALANCE</b>	<b>298,855</b>	<b>521,577</b>	<b>437,308</b>	<b>355,142</b>	<b>346,473</b>	<b>280,956</b>	<b>254,239</b>	<b>256,954</b>	<b>59,513</b>	<b>102,250</b>	<b>62,483</b>

**NO SPECIAL ASSESSMENTS**  
**ALL MAJOR WORK COMPLETED 2012-2013**

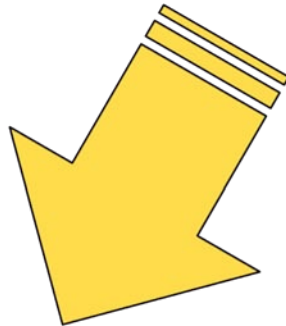
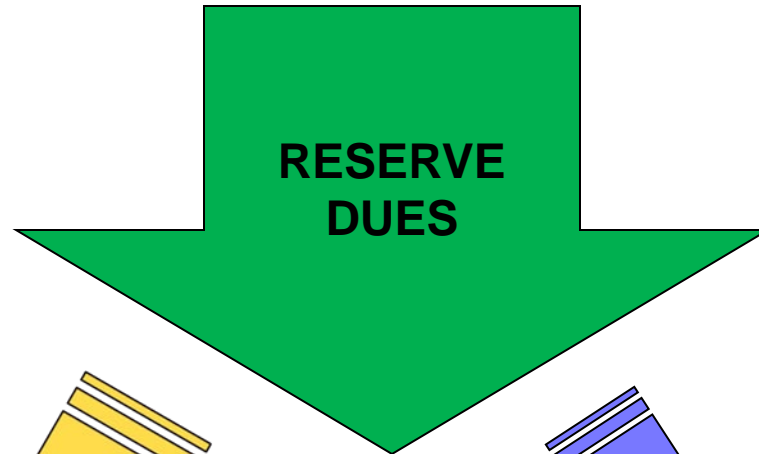
# 11-20 YEAR DUES PROFILE

## PROPOSED – MONTHLY DUES

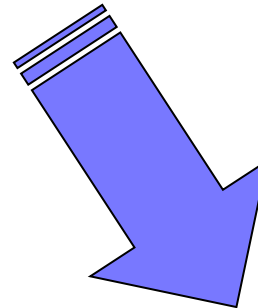
	A	M	N	O	P	Q	R	S	T	U	V
		Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast	Forecast
		2022	2023	2024	2025	2026	2027	2028	2029	2030	2031
3	<b>HOA Dues - AVERAGE</b>	\$517	\$533	\$549	\$565	\$582	\$599	\$510	\$525	\$541	\$557
4	HOA Dues Increase %	4%	3%	3%	3%	3%	3%	-15%	3%	3%	3%
5	<b>HOA Dues Increase - ANTICIPATED</b>	\$20	\$16	\$16	\$16	\$17	\$17	-\$90	\$15	\$16	\$16
6	Operating Dues	\$286	\$295	\$304	\$313	\$322	\$332	\$342	\$352	\$363	\$373
7	<b>Operating Dues Increase</b>	\$8	\$9	\$9	\$9	\$9	\$10	\$10	\$10	\$11	\$11
8	HOA Reserve Dues	231	238	245	252	260	268	168	173	178	183
9	<b>HOA Reserve Dues Increase</b>	\$12	\$7	\$7	\$7	\$8	\$8	-\$100	\$5	\$5	\$5
9	Reserve Revenue - reg. assessments	457,034	470,745	484,868	499,414	514,396	529,828	332,084	342,046	352,307	362,877
10	Interest income 1.25%	781	851	2,466	3,996	6,130	2,815	3,338	11,793	19,839	27,294
11	Other Income	0	0	0	0	0	0	0	0	0	0
12	<b>Total Reserve Income</b>	457,815	471,596	487,334	503,410	520,526	532,643	335,421	353,839	372,147	390,171
13	<b>Loan Repayment Amount Required</b>	303,665	303,665	303,665	303,665	303,665	303,665				
14	Funds from Reserve Dues (Interest not Included)	303,665	303,665	303,665	303,665	303,665	303,665				
15	Funds from Reserve Cash to Loan Repayment	0	0	0	0	0	0				
	Funds into Reserve Cash Funding	154,151	167,932	183,669	199,745	216,861	228,978	335,421	353,839	372,147	390,171
16											
28	<b>RESERVE EXPENDITURES</b>	148,553	38,734	61,248	29,047	482,073	187,151	130,706	31,991	73,946	726,689
29	<b>ENDING RESERVE CASH BALANCE</b>	68,080	197,278	319,699	490,397	225,186	267,013	471,728	793,577	1,091,777	755,260

**NO SPECIAL ASSESSMENTS**  
**ALL MAJOR WORK COMPLETE 2012-2013**

# **RESERVE DUES DISPURSEMENT – 15 YEARS**



**75% USED FOR LOAN  
REPAYMENT**



**25% USED FOR FUTURE  
RESERVE FUNDING**

# HOA DUES COMPARASION

## MONTHLY DUES

	2011-2012	2012-2013
<b>RATE OF DUE INCREASE</b>	<b>2.90%</b>	<b>3.53%</b>
ONE BEDROOM	\$ 7.51	\$ 8.89
ONE BEDROOM/DEN	\$ 8.31	\$ 10.05
TWO BEDROOM/ONE BATH	\$ 8.31	\$ 10.05
TWO BEDROOM/TWO BATH	\$ 8.91	\$ 11.14
THREE BEDROOM	\$ 9.44	\$ 13.36
TWO BEDROOM TOWNHOUSE	\$ 9.71	\$ 12.24

# **CONSTRUCTION & FINANCIAL OVERSIGHT**

- ✓ **ALL CONTRACTS AND CHANGE ORDERS ON AIA FORMS**
  - ✓ **REVIEW QUALITY CONTROL ON ALL PHASES OF CONSTRUCTION**
  - ✓ **OVERSEE CONSTRUCTION BUDGETS ON MONTHLY BASIS**
  - ✓ **REVIEW ALL CONTRACTORS APPLICATION FOR PAYMENTS**
  - ✓ **REQUIRE LIEN RELEASES PRIOR TO RELEASE OF PAYMENT**
  - ✓ **10% RETENTION WITHHELD UNTIL FINAL ACCEPTANCE**
- 
- ✓ **SEPARATE CONSTRUCTION ACCOUNT TO BE SET UP**
  - ✓ **MONTHLY ACCOUNTING OF ALL CONSTRUCTION BUDGETS AND CONTRACTOR PAYMENTS FOR BOARD REVIEW.**
  - ✓ **BANK FUND TRANSFER REQUESTS TO BE APPROVED BY CONSTRUCTION MANAGER AND THE BOARD PRIOR TO SUBMISSION TO THE BANK.**
  - ✓ **MONTHLY ACCOUNTING OF ALL BANKING TRANSACTIONS FOR THE CONTRACTOR PAYMENTS AND BANK TRANSFERS.**

# WHERE DO WE GO FROM HERE ?

- FIRM BID PROPOSALS OF ALL MAJOR ITEMS
- PRELIMINARY BANK LOAN APPROVAL
- HOMEOWNER'S INFORMATIONAL MEETINGS
- FINALIZE THE BANK LOAN
- PREPARE & EXECUTE THE CONSTRUCTION CONTRACTS
- CONSTRUCTION STARTS – MID JUNE 2012



**QUESTIONS ?**